

Proposed 10 Units Assembly Townhomes 3233-3249 Central Ave, Evanston IL 60201



IECC 2024 COMPLIANCE STATEMENT

I CERTIFY THAT I AM A REGISTERED ENERGY PROFESSIONAL (REP). I ALSO CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THAT THE ATTACHED PLANS FOR 3233-3249 CENTRAL AVE, EVANSTON, IL 60001 COMPLYING WITH THE REQUIREMENTS OF 2021 INTERNATIONAL ENERGY CONSERVATION CODE

NOTE:
AN ALL-ELECTRIC BUILDING IS ENCOURAGED, BOTH FOR THE HEALTH AND SAFETY OF OCCUPANTS AND TO CONFORM TO THE CITY'S CLIMATE GOALS

R302.1 EXTERIOR WALLS.
CONSTRUCTION, PROJECTIONS, OPENINGS AND PENETRATIONS OF EXTERIOR WALLS OF DWELLINGS AND ACCESSORY BUILDINGS SHALL COMPLY WITH TABLE R302.1(1); OR DWELLINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION P2404 SHALL COMPLY WITH TABLE R302.1(2).

EXCEPTIONS:
1. WALLS, PROJECTIONS, OPENINGS OR PENETRATIONS IN WALLS PERPENDICULAR TO THE LINE USED TO DETERMINE THE FIRE SEPARATION DISTANCE.
2. WALLS OF DWELLINGS AND ACCESSORY STRUCTURES LOCATED ON THE SAME LOT.
3. DETACHED TOOL SHEDS AND STORAGE SHEDS, PLAYHOUSES AND SIMILAR STRUCTURES EXEMPTED FROM PERMITS ARE NOT REQUIRED TO PROVIDE WALL PROTECTION BASED ON LOCATION ON THE LOT.
PROJECTIONS BEYOND THE EXTERIOR WALL SHALL NOT EXTEND OVER THE LOT LINE.

4. DETACHED GARAGES ACCESSORY TO A DWELLING LOCATED WITHIN 2'-0" OF A LOT LINE ARE PERMITTED TO HAVE ROOF EAVE PROJECTIONS NOT EXCEEDING 4'
5. FOUNDATION VENTS INSTALLED IN COMPLIANCE WITH THIS CODE ARE PERMITTED. TABLE R302.1(1) EXTERIOR WALLS EXTERIOR WALL ELEMENT MINIMUM FIRE-RESISTANCE RATING MINIMUM FIRE SEPARATION DISTANCE WALLS FIRE-RESISTANCE RATED 1 HOUR-TESTED 1 HOUR-TESTED IN ACCORDANCE WITH ASTM E 119 OR UL 263 WITH EXPOSURE FROM BOTH SIDES 5'-0" NOT FIRE-RESISTANCE RATED 0 HOURS 25'-0"

PROJECTIONS FIRE-RESISTANCE RATED-1 HOUR ON THE UNDERSIDE 22 FEET TO < 5 FEET
NOT FIRE-RESISTANCE RATED 0 HOURS 25'-0"
OPENINGS IN WALLS NOT ALLOWED N/A < 3 FEET
25% MAXIMUM OF WALL AREA 0 HOURS 3 FEET
UNLIMITED 0 HOURS 5 FEET
PENETRATIONS ALL COMPLY WITH SECTION R302.4
5'-0" FEET NONE REQUIRED 5 FEET
FOR SI: 1 FOOT = 304.8 MM.
N/A = NOT APPLICABLE.

FIRE SPRINKLER SYSTEM SHALL BE A NFPA 13D SYSTEM IN ACCORDANCE WITH IRC R313.2
TABLE R302.1(2) EXTERIOR WALLS-DWELLINGS WITH FIRE SPRINKLERS EXTERIOR WALL ELEMENT MINIMUM FIRE-RESISTANCE RATING MINIMUM FIRE SEPARATION DISTANCE WALLS FIRE-RESISTANCE RATED 1 HOUR-TESTED IN ACCORDANCE WITH ASTM E 119 OR UL 263 WITH EXPOSURE FROM THE OUTSIDE- 0'-0" NOT FIRE-RESISTANCE RATED 0 HOURS 3'-0" PROJECTIONS FIRE-RESISTANCE RATED-1 HOUR ON THE UNDERSIDE 2'-0" A NOT FIRE-RESISTANCE RATED 0 HOURS 3'-0" OPENINGS IN WALLS NOT ALLOWED N/A < 3'-0" UNLIMITED-0 HOURS 3'-0" A PENETRATIONS ALL COMPLY WITH SECTION R302.4 < 3'-0" NONE REQUIRED 3'-0" A FOR SI: 1'-0"

NOTE:
THE CENTRAL STREET CORRIDOR IS PART OF THE CENTRAL STREET MASTER PLAN, WHICH WAS APPROVED IN 2007. DEVELOPMENT ON THE SUBJECT PROPERTY IS ENCOURAGED TO COMPLY WITH THE CENTRAL STREET MASTER PLAN WHERE FEASIBLE.

APPLICABLE CODES

THE CITY OF EVANSTON HAS ADOPTED THE 2012 INTERNATIONAL BUILDING CODE WITH THE ADDITIONS, DELETIONS, EXCEPTIONS, AND OTHER AMENDMENTS SET FORTH IN TITLE 4 OF THE CITY CODE.

ADOPTED BUILDING CODES (SEE THE CITY CODE)
2021 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS (IRC)

CURRENT ILLINOIS PLUMBING CODE (WITH AMENDMENTS)
2021 INTERNATIONAL MECHANICAL CODE (WITH AMENDMENTS)
2021 INTERNATIONAL FUEL GAS CODE
2020 NATIONAL ELECTRIC CODE (WITH AMENDMENTS)
2021 NFPA LIFE SAFETY CODE (LSC)
2021 NFPA LIFE SAFETY CODE (LSC)
2021 INTERNATIONAL FIRE CODE
ADOPTED CODES THAT AFFECT THIS PROJECT: 2021 IFC, IRC & NFPA 101, 2019 NFPA 13D FOR 1 & 2 FAMILY DWELLINGS & EVANSTON MUNICIPAL CODE.

2024 ILLINOIS ENERGY CONSERVATION CODE
THE CITY OF EVANSTON ALSO ENFORCES ADDITIONAL STATE OF ILLINOIS LISTED BELOW. THESE ARE AVAILABLE ONLINE FROM THE ILLINOIS CAPITAL DEVELOPMENT BOARD:
STATE OF ILLINOIS PLUMBING CODE
STATE OF ILLINOIS ACCESSIBILITY CODE
BUILDING HOUSING & INSPECTIONS
2100 RIDGE AVE, EVANSTON, IL 60201, #3510
P: 311 OR 847-448-4311

2021 IFC, IRC & NFPA 101, 2019 NFPA 13D FOR 1 & 2 FAMILY DWELLINGS & EVANSTON MUNICIPAL CODE. IBC FOR MULTI-FAMILY RESIDENTIAL.

DESIGN CRITERIA

THE MINIMUM LIVE LOAD FOR BALCONIES AND DECKS IS 60 PSF PER CITY ORDINANCE, TITLE 4, CHAPTER 9, TABLE R301.5.

GROUND SNOW LOAD: 30 PSF
WIND SPEED: 117 MPH (CITY ORDINANCE, TITLE 4, CHAPTER 9, TABLE R301.2)
SEISMIC DESIGN CATEGORY: B
WEATHERING: SEVERE
FROST LINE DEPTH: 42"
WINTER DESIGN TEMP: 68° F to -10° F W/ 50% HUMIDITY

TERMITE: NO
ICE BARRIERS REQ: YES
FLOOD HAZARDS: 1/16/2000
MEAN ANNUAL TEMP: 50° F
AIR FREEZING INDEX 1500
FLOOR LOADS
LIVE LOAD @ LIVING SPACES: 40 PSF
DEAD LOAD @ LIVING SPACES: 10 PSF
LIVE LOAD @ SLEEPING ROOMS: 30 PSF
DEAD LOAD @ SLEEPING ROOMS: 10 PSF
MAX DEFLECTION: L/480

STATEMENT OF COMPLIANCE

I HAVE PREPARED, OR CAUSED TO BE PREPARED UNDER MY DIRECT SUPERVISION, THE ATTACHED PLANS AND SPECIFICATIONS AND STATE THAT, TO THE BEST OF MY KNOWLEDGE ADHERED TO CITY OF EVANSTON MUNICIPAL CODES

SIGNED: *Komal Purohit*
IL. REG. NO.: 001.019448
DATE: 06/10/2026 REG. EXP. DATE: 11/2026

NOTE:
JOB SITE ACCESS MUST BE PRESERVED DURING CONSTRUCTION, ROADS AND WALKWAYS FOR EMERGENCY RESPONDER ACCESS MUST CONFORM TO ALL REQUIREMENTS.

DRAWING SHEETS INDEX & DISTRIBUTION SCHEDULE

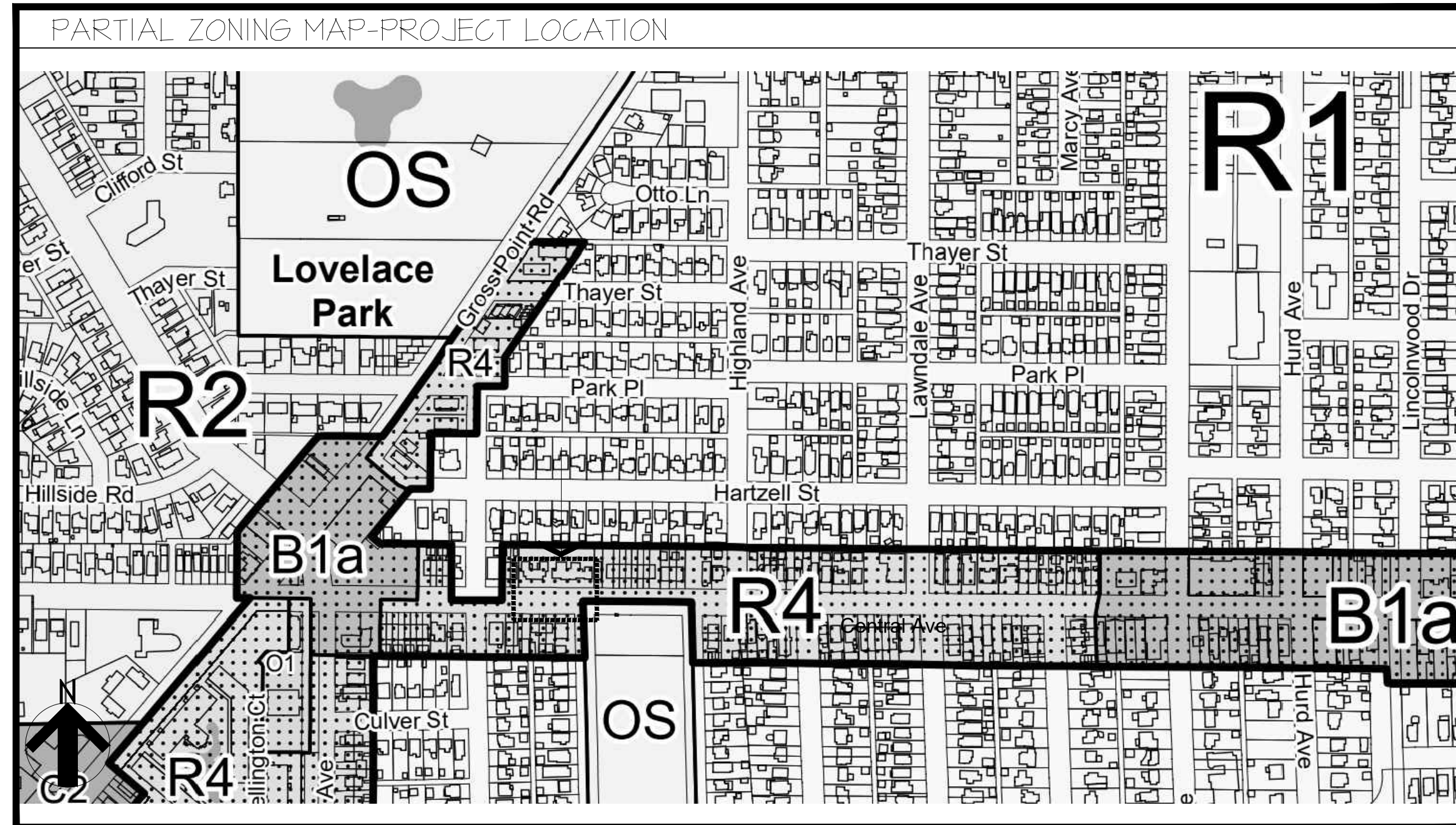
SHT. #	SHEET NAME	ISSUED 04/30/26	ISSUED 06/10/26
A 000	COVER SHEETS TITLE SHEET, PROPOSED SITE PLAN	●	●
A 010	ARCHITECTURAL		
A 010	GENERAL NOTES		
A 011	PROPOSED SITE PLAN	●	●
A 100	ARCHITECTURAL SHEETS		
A 100	UNIT FOUNDATION PLAN, FOUNDATION SECTIONS	●	●
A 100	FINISH BASEMENT PLAN		
A 110	FOUNDATION UNIT FOUNDATION PLAN	●	●
A 111	FOUNDATION ASSEMBLY PLAN	●	●
A 112	FIRST & SECOND ASSEMBLY PLAN	●	●
A 113	1/2 STORY & ROOF FLOOR ASSEMBLY PLAN	●	●
A 114	UNIT FLOOR PLANS	●	●
A 117	DETACHED GARAGE	●	●
A 300	EXTERIOR ELEVATIONS	●	●
A 301	UNIT ELEVATIONS, MATERIALS LEGEND	●	●
	MEP		

SYMBOL

	LARGE SCALE DETAIL		DETAIL ELEVATION REFERENCE SHEET #		BUILDING OR SECTION KEY SHEET NUMBER
	FOUNDATION WALL TYPE		WALL SECTION REFERENCE SHEET #		DETAIL NUMBER SHEET NUMBER
	ELEVATION MARKING		DETAIL REFERENCE SHEET #		ELEVATION NUMBER
	REVISION		DIMENSIONAL LUMBER		CENTERLINE
	EARTH		BLOCKING		HOSE BIBB
	SAND OR GRAVEL FILL		FINISH GRADE WOOD		ROUND OR DIAMETER
	BRICK		PLYWOOD		INTERIOR PARTITION WALL
	CONCRETE BLOCK		INSULATING SHEATHING		INTERIOR LOAD BEARING WALL
	CONCRETE		BATT INSULATION		3-2x4 WOOD POST OR 2-2x6 UNLESS NOTED OTHERWISE
	STONE		RIGID INSULATION		
	STEEL				

SUSTAINABLE DESIGN STATEMENT

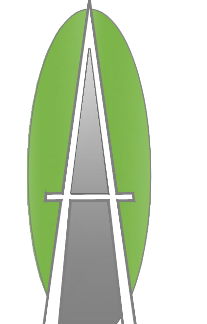
DEVELOPER PROPOSED DEVELOPMENT INCORPORATES MULTIPLE GREEN AND SUSTAINABLE DESIGN FEATURES, INCLUDING:
-ENERGY-EFFICIENT BUILDING SYSTEMS
-HIGH-PERFORMANCE WINDOWS & DOORS
-WATER-EFFICIENT PLUMBING FIXTURES
-NATIVE AND DROUGHT-TOLERANT LANDSCAPING.
-ENHANCED ROOF INSULATION R-60.
COMPLIANCE WITH CURRENT ENERGY CODE
-PERMEABLE PAVERS
-NEST PROGRAMMABLE THERMOSTATS



Document Record:

Issue Date:	Description
04.30.2026	ZONING ANALYSIS APPLICATION - 252MJV-0055 - ROUND 1 DELTA 1

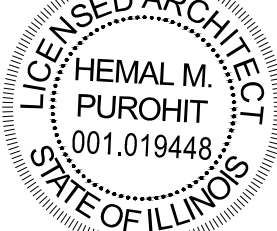
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ARCHICRAFT INC.
OFFICE ADDRESS:
1320 L'ACI CT,
INDIAN CREEK
IL, 60061
PH: 847. 409-6360
dimabilenko@gmail.com
ARCHITECT OF RECORD
PUROHIT ARCHITECTS

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Proposed 10 Units Assembly Building

General contractor
Kaplan Custom Homes Inc.
847. 219-1616 ph
Developer
Krosha Properties Inc.
847. 219-1616 ph
4170 Phyllis Rd
Northbrook IL, 60061

PROJECT ADDRESS:

3233-3249 Central Ave
Evanston, IL 60201

DATE	DESCRIPTION
Issue Date:	NOVEMBER 21, 2024
Drawn By:	DB/HP
Sheet:	

PROJECT NUMBER 241106.01

DRAWN BY DB/HP

DESCRIPTION 10 UNITS BUILDING ASSEMBLY COVERED PAGE

SHEET
A-000

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R-4 ZONING DISTRICT LOT INFO 225' x 119.52' x 225' x 120.85'	-27046.66 SF (100%)
ALLOWABLE BUILDINGS LOT COVERAGE (WITH AFFORDABLE UNIT) 40% + 15% = 55%	14875.7 SF (55%)
6-15-1-10 - INCLUSIONARY HOUSING BONUS	
PROPOSED 10 UNITS BUILDING ASSEMBLY-51'-6" X 215'-0"	-11072.5 SF (41%)
ACCESSORY BUILDING 5 CAR GARAGES BUILDING FOOTPRINT 20 PARKING STALLS-520'-0" X 40'-0"	-4000 SF (14.7%)
TOTAL BUILDINGS COVERAGE	-15072.5 SF (55.72%)
REAR YARD DIMENSIONS 225'-0" X 42'-4" X 225'-0" X 38'-6"	9376 SF (REAR YARD)
40% REAR YARD COVERAGE ALLOWABLE	3750.4 SF (40%)
PROPOSED 20 PARKING STALLS	4000 SF (42%)
10 REAR GARAGES CONC. APRONS	474 SF (5%)
OPEN IMPERVIOUS SURFACE COVERAGE:	
(10) FRONT PORCH W/STAIR	600 SF
50% OF THE SURFACE AREA OF AN OPEN FRONT PORCH IS EXCLUDED	300 SF

(20) FRONT & REAR PERMEABLE WALK- (10) REAR STAIR	1040 SF
REAR CONC. APRON (DRIVEWAYS)	180 SF
REAR CONC. APRON (DRIVEWAYS)	474 SF
TOTAL	1994 SF (7.36%)
TOTAL PROPOSED IMPERVIOUS SURFACE AREAS	54% + 7.36% (61.36%)
OPEN AREA	9980.16 SF (37%)
BUILDING LOT COVERAGE AND IMPERVIOUS SURFACE COVERAGE	+15%

PROPOSED NUMBER OF BEDROOMS:	
LOOKOUT BASEMENT-(1) GUEST BEDROOM	
FIRST FLOOR - (0)	
SECOND FLOOR - (3) THREE BEDROOMS	
THIRD STORY FLOOR - (0)	
TOTAL	-(4) FOUR BEDROOMS

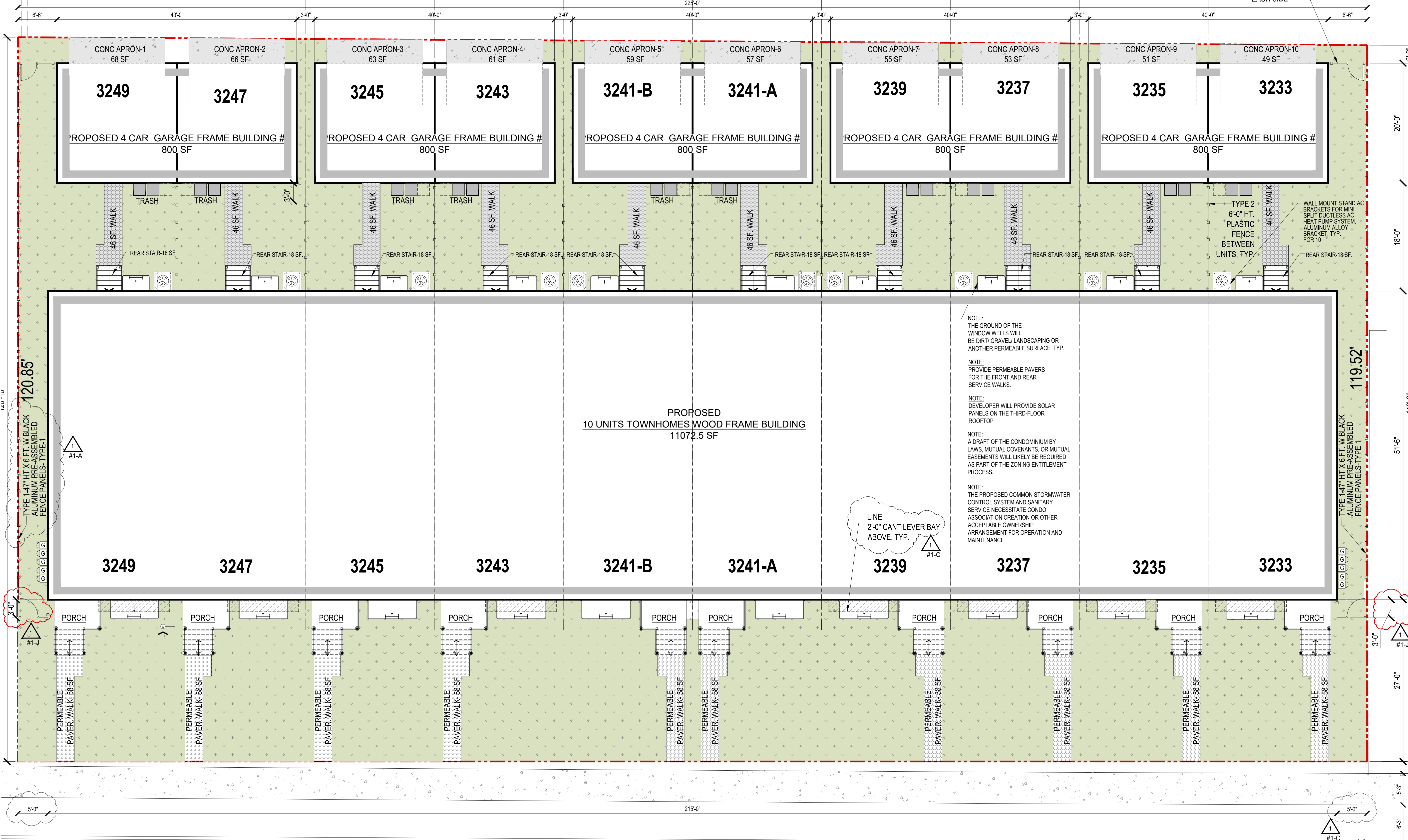
PROPOSED UNIT SQUARE FOOTAGE	
FIRST FLOOR	-1122 SF
SECOND FLOOR	-1137 SF
THIRD FLOOR	-414 SF
TOTAL FLOOR AREA	-2673 SF
BASEMENT AREA	-1013 SF
PROPOSED HEATED AREA	-3686 SF

PROPOSED FENCE TYPE #1:
NATURAL REFLECTIONS 6 FT. X 8 FT.
BLACK ALUMINUM HEAVY-DUTY
FENCE PANEL

PROPOSED FENCE TYPE 2
BETWEEN UNITS @ REAR YARD
FREEDOM BRIGHTON 6'-0" H X 6'-0" W
WHITE PRIVACY VINYL
FLAT-TOP FENCE PANEL (ASSEMBLED)

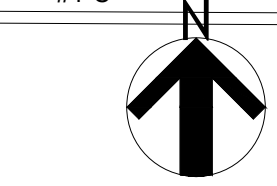
16.0' PUBLIC ALLEY

NOTE:
GARAGE IS FLUSH WITH THE GROUND TO FACILITATE
TRANSPORT OF THE WASTE CONTAINERS FROM THE REAR
YARD THROUGH THE GARAGE FOR SERVICE



1 PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"

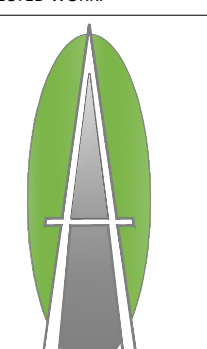
CENTRAL AVE



Document Record:

Issue Date	Description
04.30.2026	ZONING ANALYSIS APPLICATION - 252M JV-0055 - ROUND 17 DELTA 1
06.10.2026	REVISION SET ROUND 17 DELTA 1

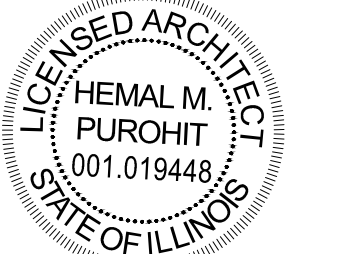
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ARCHICRAFT INC.
OFFICE ADDRESS:
1320 LACI C.T.
INDIAN CREEK
IL, 60061
PH: 847. 409-6360
dimabilenko@gmail.com
ARCHITECT OF RECORD
PUROHIT ARCHITECTS

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DATE	DESCRIPTION
Issue Date:	NOVEMBER 21, 2024
Drawn By:	DB/HP
SHEET:	
PROJECT NUMBER	241106.01
DRAWN BY	DB/HP

DESCRIPTION 10 UNITS BUILDING ASSEMBLY
PROPOSED SITE PLAN

SHEET
A-011

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Document Record:

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04.30.2026	ZONING ANALYSIS APPLICATION - 252MJV-0055 - ROUND 1 DELTA1
06.10.2026	REVISION SET ROUND 1 DELTA1

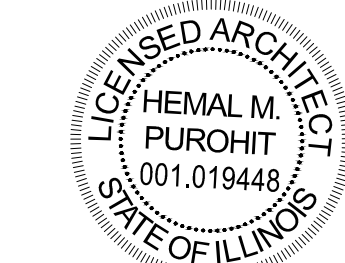
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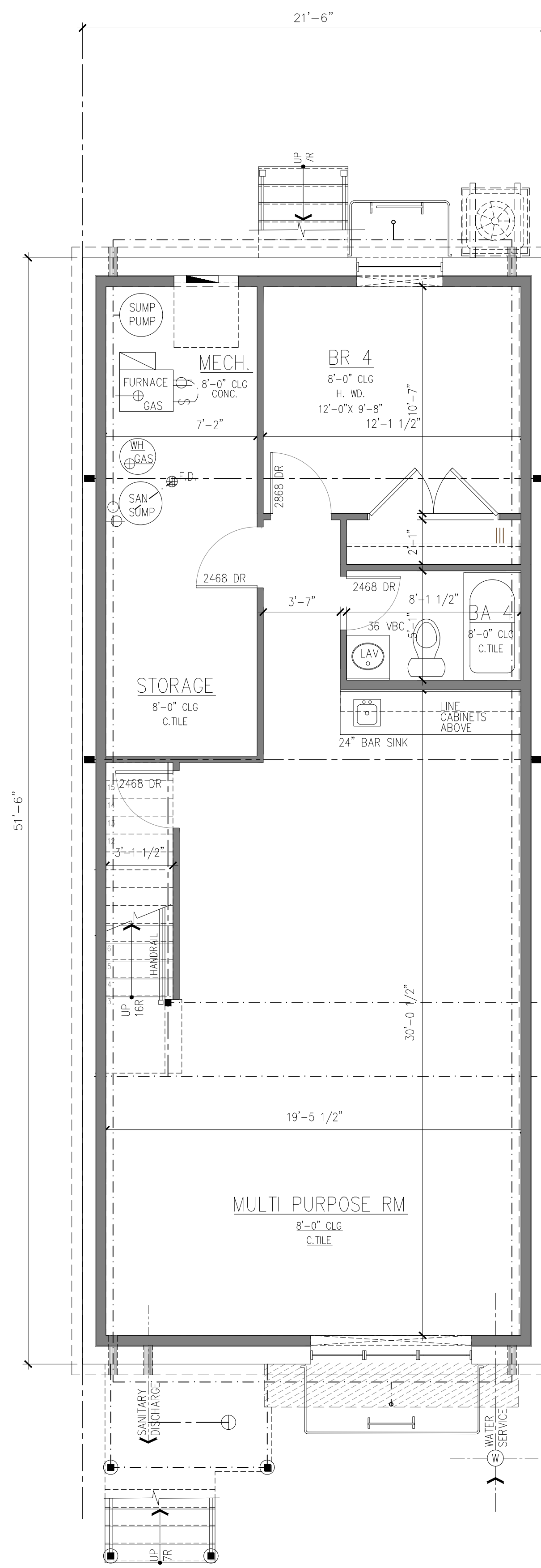
DATE	DESCRIPTION
Issue Date:	NOVEMBER 21, 2024
Drawn By:	DB/HP
Sheet:	
PROJECT NUMBER 241106.01	
DRAWN BY DB/HP	
DESCRIPTION 10 UNITS BUILDING ASSEMBLY UNIT FOUNDATION PLAN & FINISHED BASEMENT PLAN	

SHEET
A-110

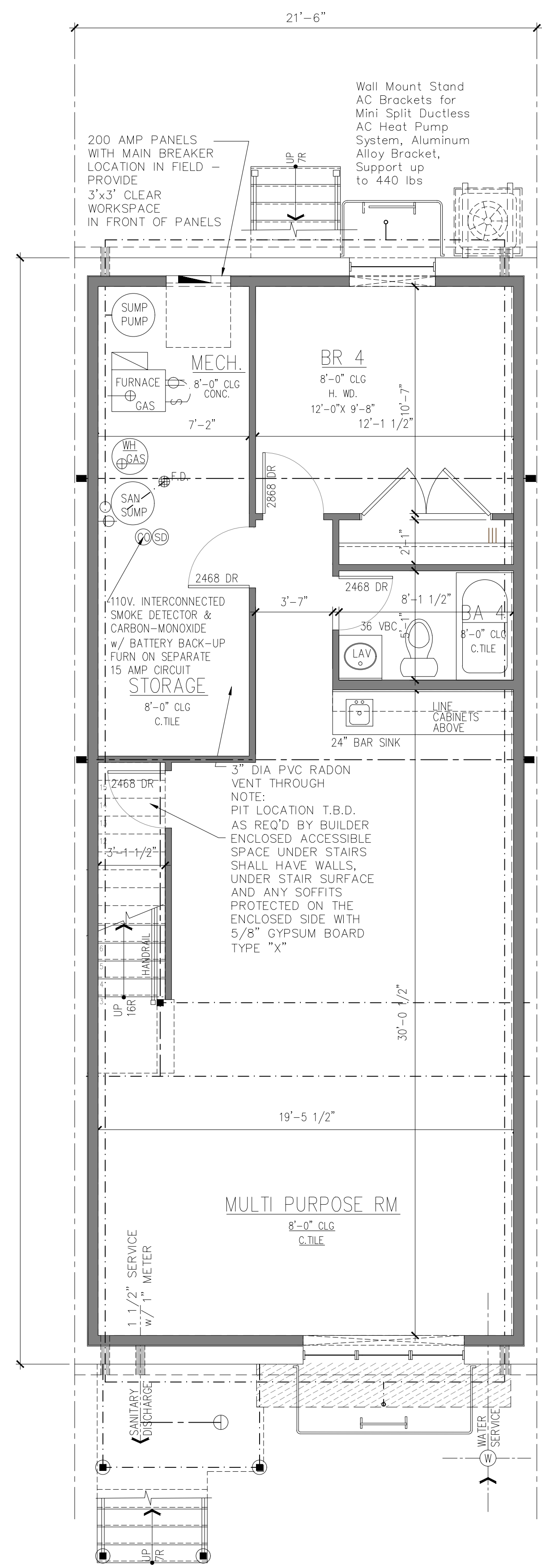
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FOUNDATION NOTES

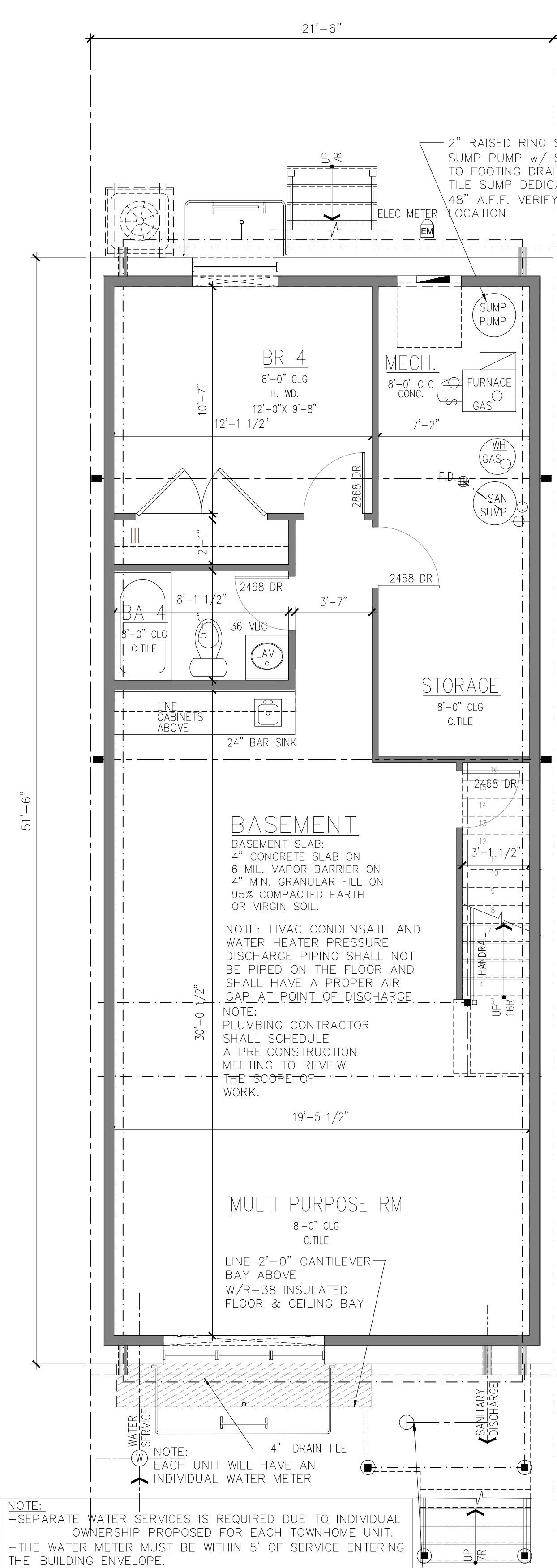
- PROVIDE CIRCULAR BOXOUTS AT STEEL COLUMN LOCATIONS.
- PROVIDE MIN 1/2" DIA. STEEL ANCHOR BOLTS @ 6'-0" o/c MAX. & 12" MAX. FROM EACH END OF MUDDSILL; MIN. 2 PER SILL.
- PROVIDE MIN. 4" CONCRETE COVER AT BELOW SLAB UTILITY LOCATIONS. WHEN CONCRETE ENCASEMENT OF UTILITY LINES IS REQUIRED, INCREASE SLAB THICKNESS AT THE UTILITY. UTILITIES SHALL BE PLACED SUFFICIENTLY BELOW SLAB TO MAINTAIN PROPER COVERAGE.
- PROVIDE CONTROL JOINTS TO CONSIST OF "ZIP STRIP" OR TOOLED JOINTS AT 30'-0" o/c IN EACH DIRECTION AND A DEPTH OF 1/4 OF THE SLAB THICKNESS.
- ALL ANGLED WALLS AND FOOTINGS ARE 45 DEGREES UNLESS OTHERWISE NOTED.
- SLOPE CONCRETE SLAB TO FLOOR DRAINS WITHIN 5'-0" OF DRAIN.
- MECH TRADES RESPONSIBLE FOR PROVIDING AND LOCATING FOUNDATION SLEEVES.
- ALL CONCENTRATED LOADS FROM BEAMS OR GIRDER TRUSSES TO TRANSFER TO FOUNDATION VIA POSTS, BEAMS AND /OR SOLID BLOCKING.
- TOP OF FOUNDATION SLAB IS AT 0'-0" UNLESS OTHERWISE NOTED.
- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON SHEET C1 AND DETAILS.
- ALL DESIGN, REVISIONS, ENGINEERING, INSTALLATION AND LIABILITY OF SOIL CONDITIONS AND STRUCTURAL DESIGNS DUE TO INADEQUATE SOILS SHALL BE THE RESPONSIBILITY OF THE "BUILDER-DEVELOPER" OR ITS SUBCONTRACTORS INVOLVED WITH DESIGN AND INSTALLATION OF SUCH; AND THE ARCHITECT SHALL NOT BE HELD LIABLE OR RESPONSIBLE FOR THEIR IMPLEMENTATIONS.



1 FINISH BASEMENT PLAN-LEFT-END UNIT
 SCALE: 1/4"=1'-0"

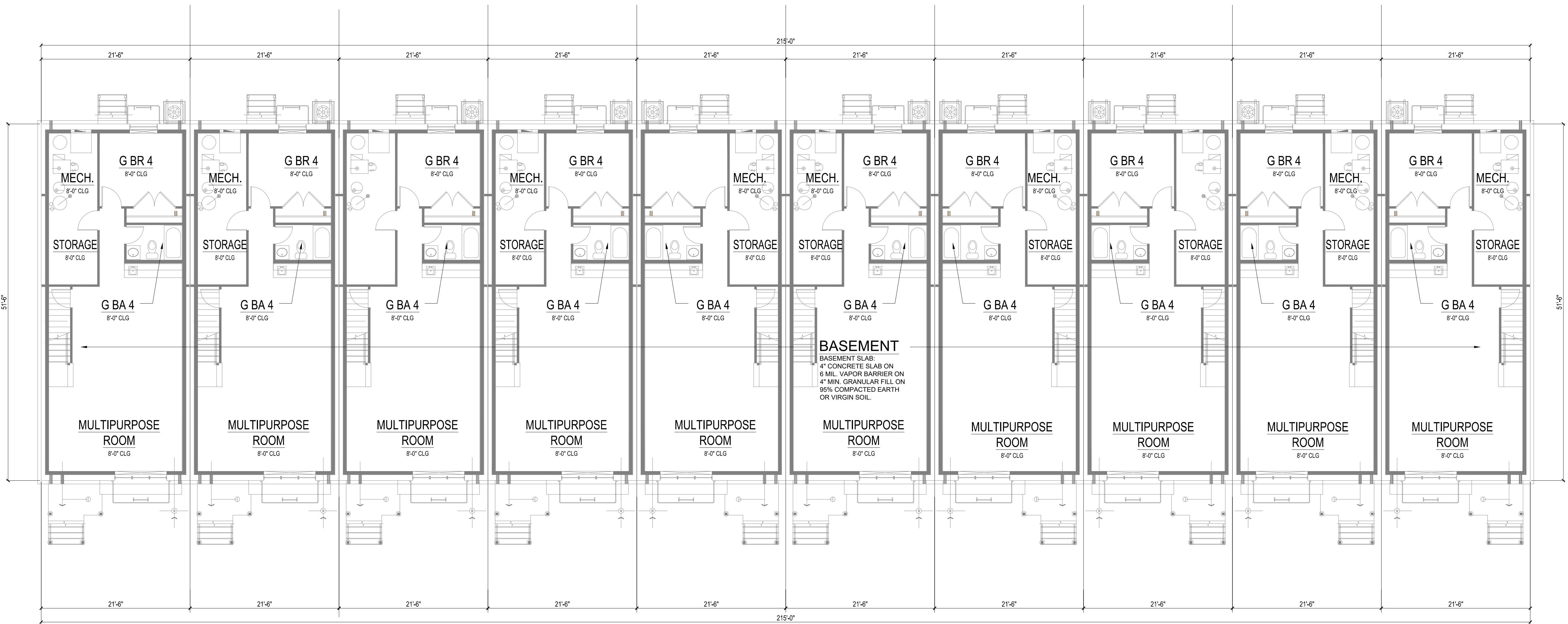


2 FINISH BASEMENT PLAN-MIDDLE 8 UNITS
 SCALE: 1/4"=1'-0"



3 FINISH BASEMENT PLAN-RIGHT-END UNIT
 SCALE: 1/4"=1'-0"

These drawings may have been reproduced at a scale different than originally drawn. Owner and Architect assume no responsibility for use of incorrect scale. Do not scale drawings, contractor shall verify all existing conditions prior to proceeding with construction and notify architect immediately of any discrepancies or conflicts.



1 10 UNIT ASSEMBLY FOUNDATION PLAN WITH FINISH BASEMENT
SCALE: 1/8"=1'-0"

Document Record:

Issued Date	Description
04.30.2026	ZONING ANALYSIS APPLICATION - 252MJV-0055 - ROUND 17 DELTA 1
06.10.2026	REVISION SET ROUND 17 DELTA 1

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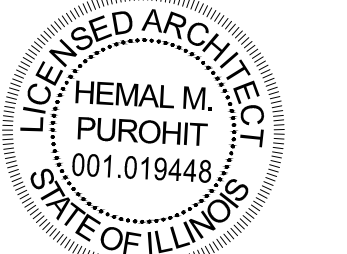
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Issue Date: NOVEMBER 21, 2024

Drawn By: DB/HP

Sheet:

PROJECT NUMBER 241106.01

DRAWN BY DB/HP

DESCRIPTION 10 UNITS BUILDING ASSEMBLY
UNIT FOUNDATION PLAN &
FINISHED BASEMENT PLAN

SHEET
A-111

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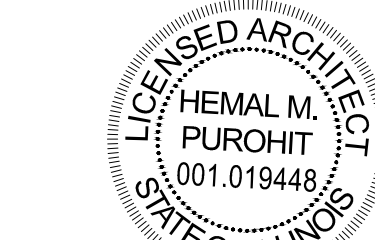
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OFFICE ADDRESS:
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INDIAN CREEK
IL, 60061
PH: 847.409-6360
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**Proposed 10 Units
Assembly Building**

General contractor

Kaplan Custom Homes Inc.
847. 219-1616 ph
Developer

Krosha Properties Inc.
847. 219-1616 ph
4170 Phyllis Rd
Northbrook IL, 60061

**PROJECT
ADDRESS:**

3233-3249 Central Ave
Evanston, IL 60201

DATE DESCRIPTION

Issue Date: NOVEMBER 21, 2024

Drawn By: DB/HP

Sheet:

PROJECT NUMBER 241106.01

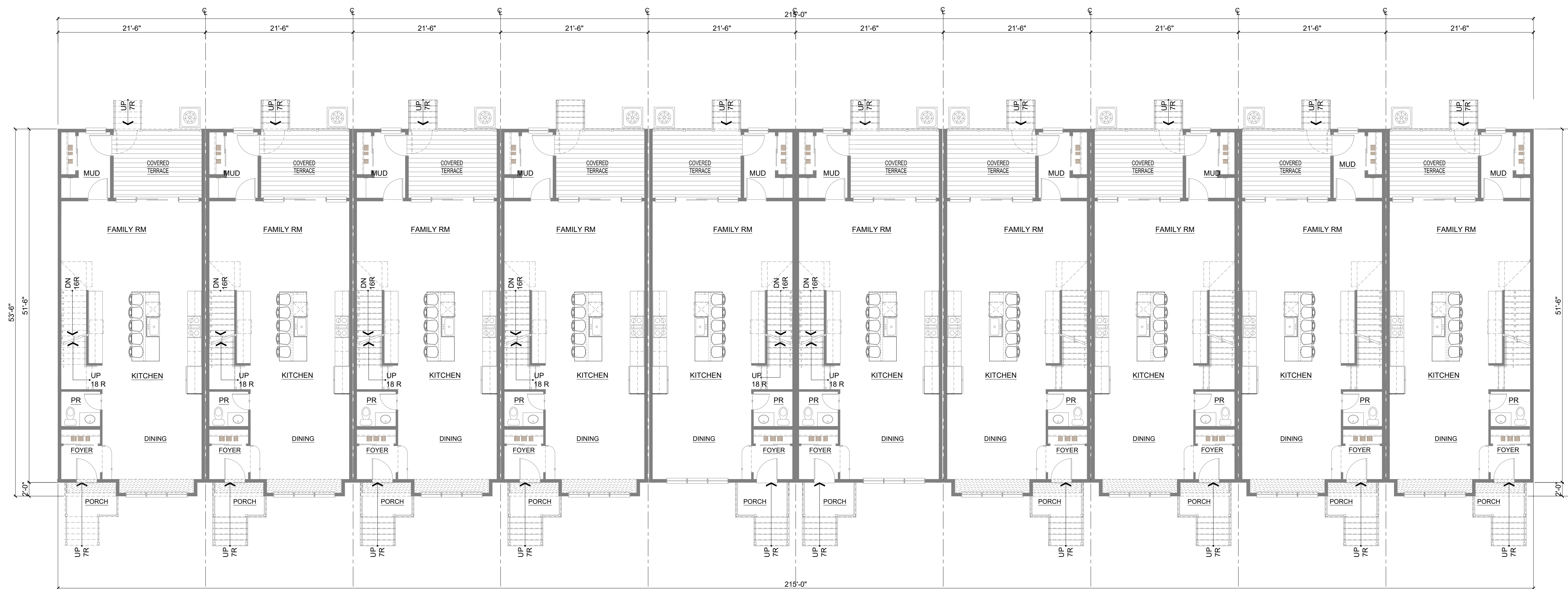
DRAWN BY DB/HP

DESCRIPTION 10 UNITS BUILDING ASSEMBLY
11 UNITS FIRST & SECOND FLOOR
ASSEMBLY PLAN

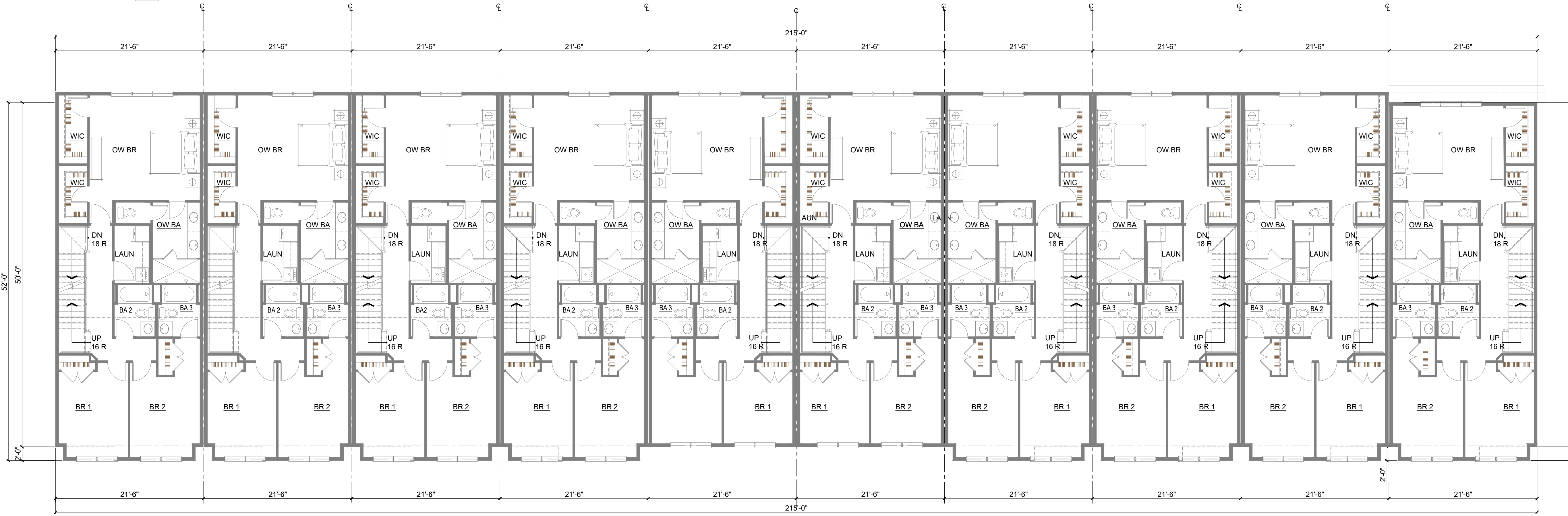
SHEET

A-112

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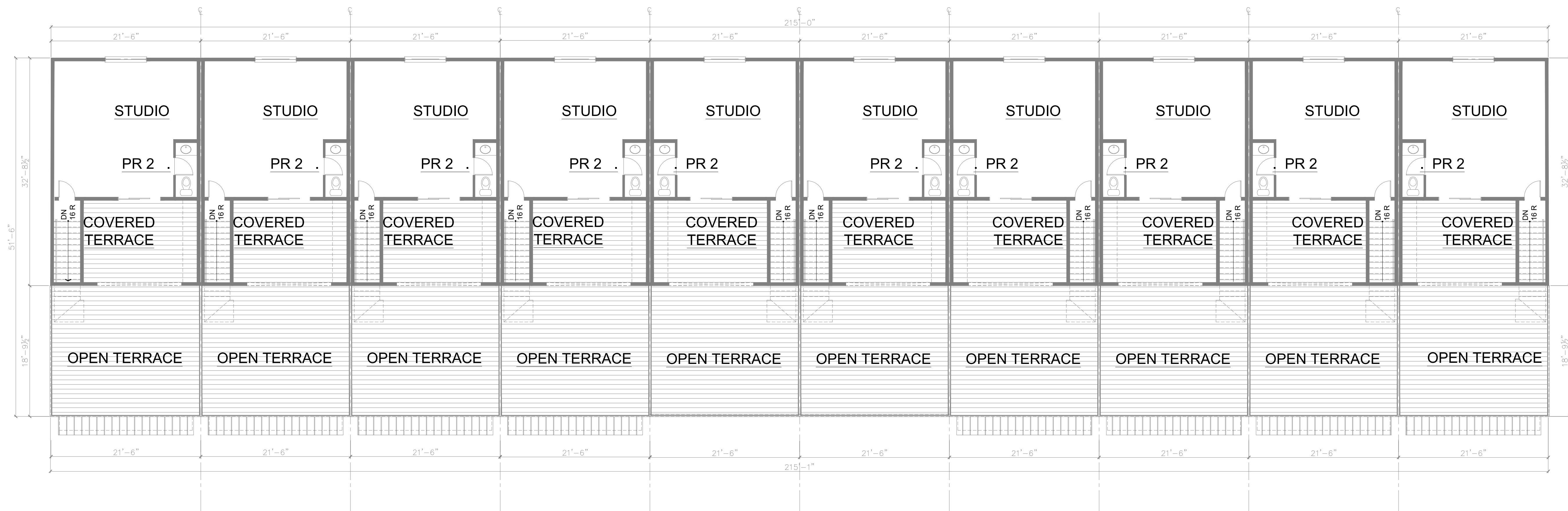


10 UNITS FIRST FLOOR ASSEMBLY PLAN
SCALE: 1/8"=1'-0" #1-D

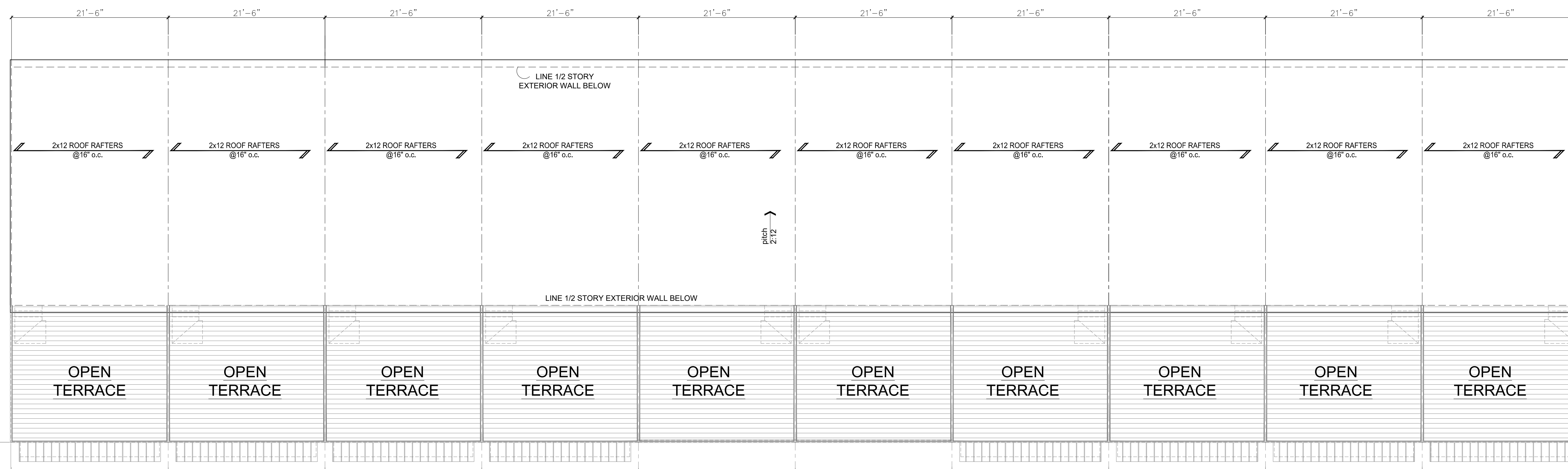


10 UNITS SECOND FLOOR ASSEMBLY PLAN
SCALE: 1/8"=1'-0" #1-D

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1 10 UNITS UPPER LEVEL FLOOR ASSEMBLY PLAN
SCALE: 1/8"=1'-0"

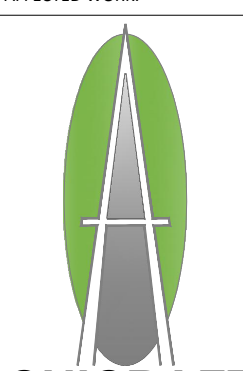


2 10 UNITS ROOF ASSEMBLY PLAN
SCALE: 1/8"=1'-0"

Document Record:

Issued Date	Description
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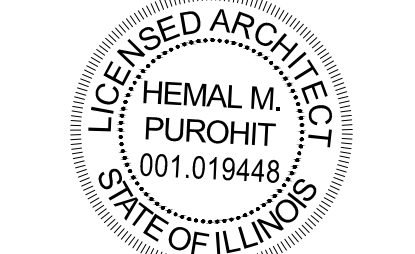
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INDIAN CREEK
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PROJECT ADDRESS:

3233-3249 Central Ave
Evanston, IL 60201

DATE	DESCRIPTION
NOVEMBER 21, 2024	Issue Date:
DB/HP	Drawn By:

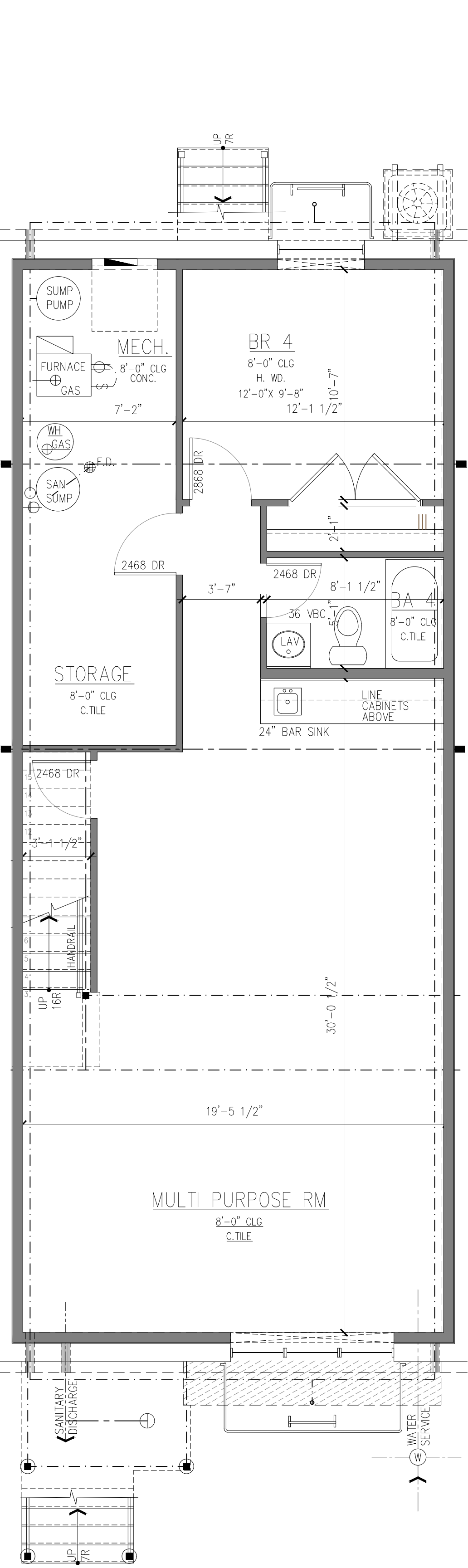
PROJECT NUMBER 241106.01

DRAWN BY DB/HP

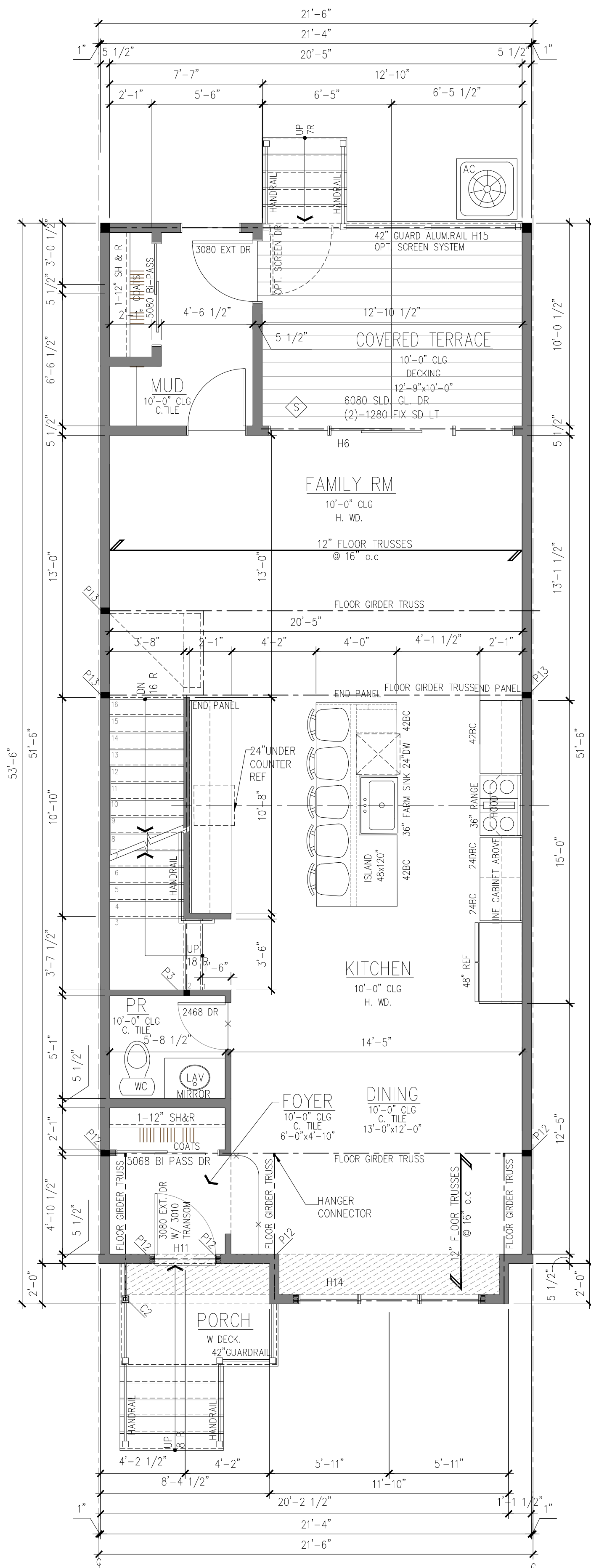
DESCRIPTION 10 UNITS BUILDING ASSEMBLY
10 UNITS UPPER LEVEL FLOOR ASSEMBLY PLAN
10 UNITS ROOF ASSEMBLY PLAN

SHEET
A-113

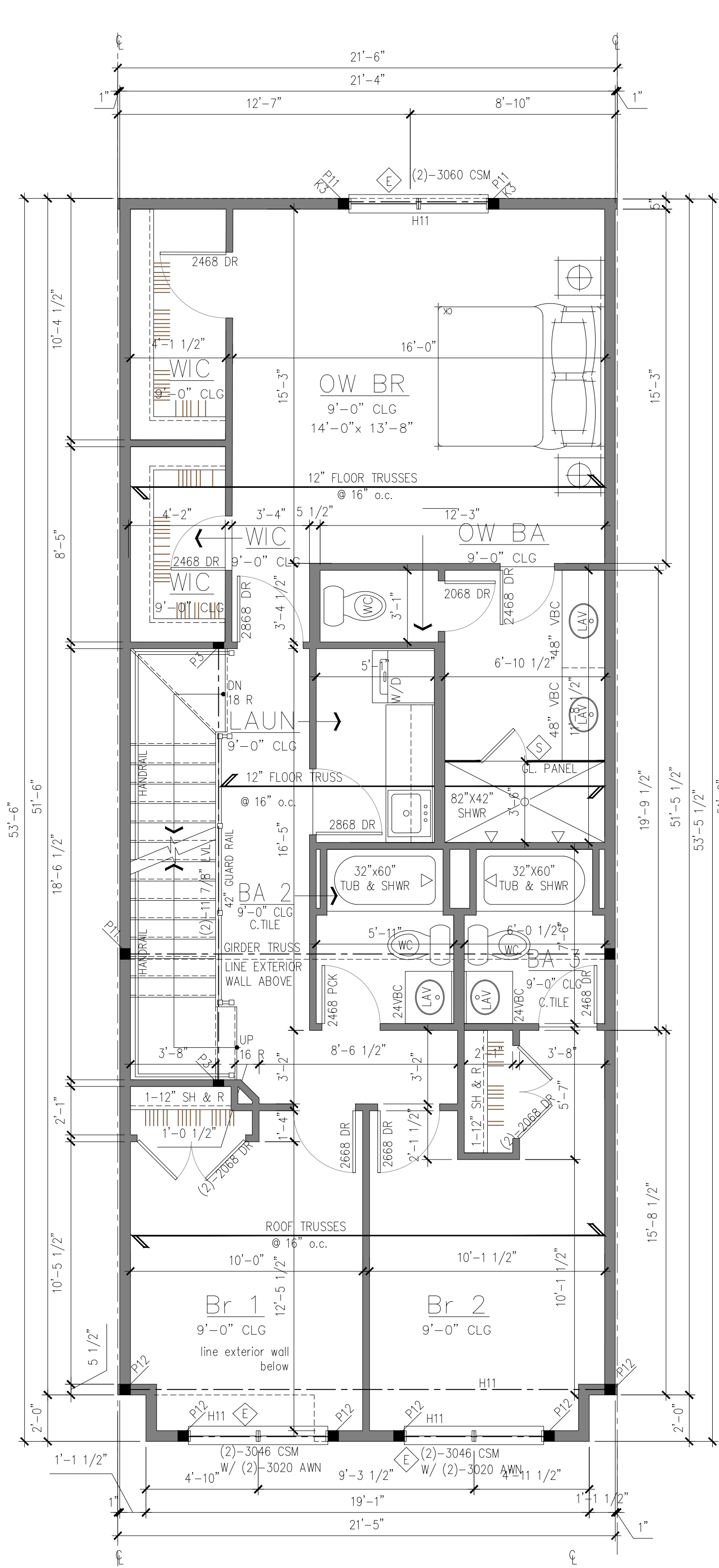
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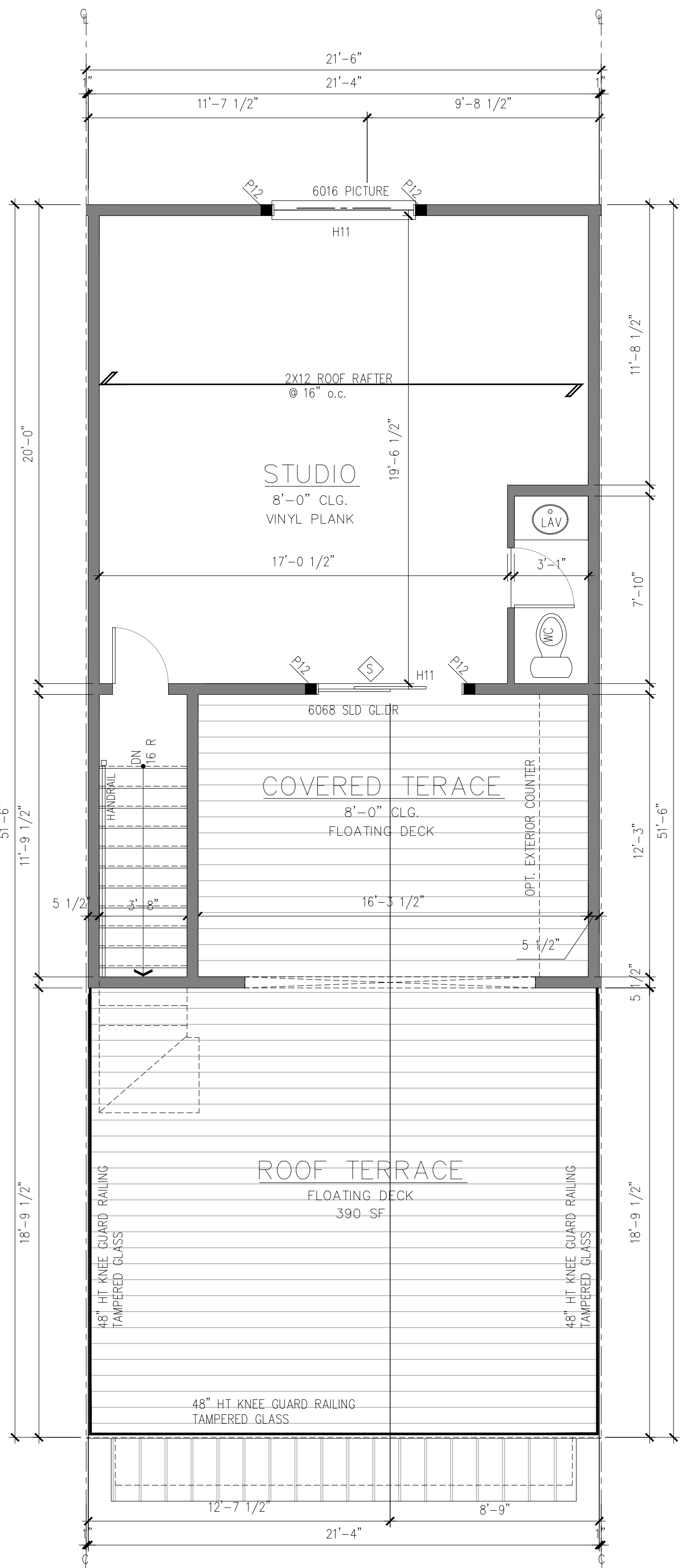
1 BASEMENT PLAN
SCALE: 1/4"=1'-0"



2 FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



3 SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



4 UPPER LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"

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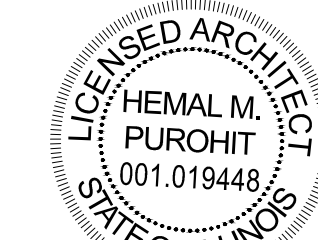


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1320 L.A.C.I. CT.
INDIAN CREEK
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Evanston, IL 60021

DATE DESCRIPTION

Issue Date: NOVEMBER 21, 2024

Drawn By: DB/HP

Sheet:

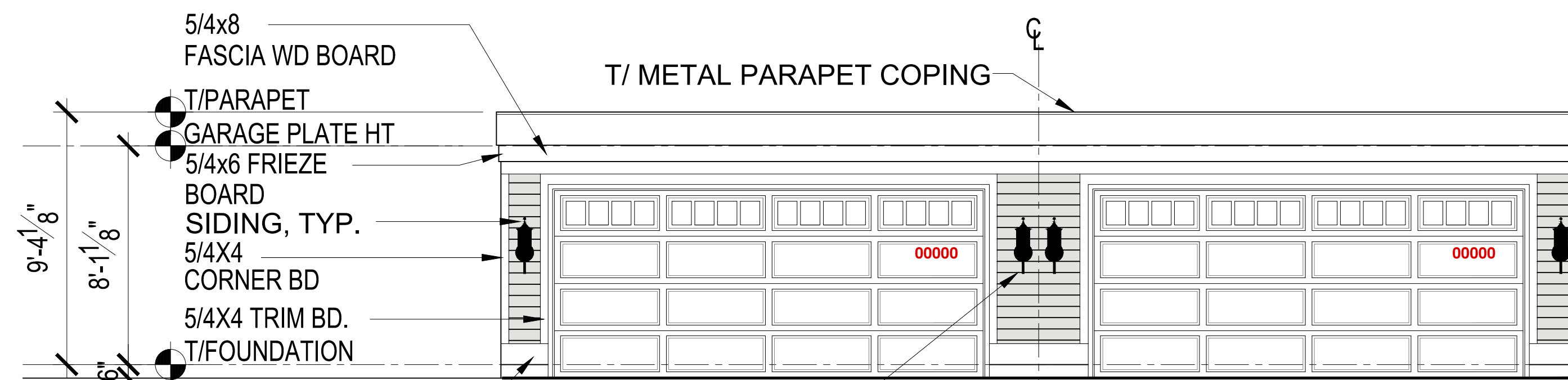
PROJECT NUMBER 241106.01

DRAWN BY DB/HP

DESCRIPTION 10 UNITS BUILDING ASSEMBLY UNIT FLOOR PLANS

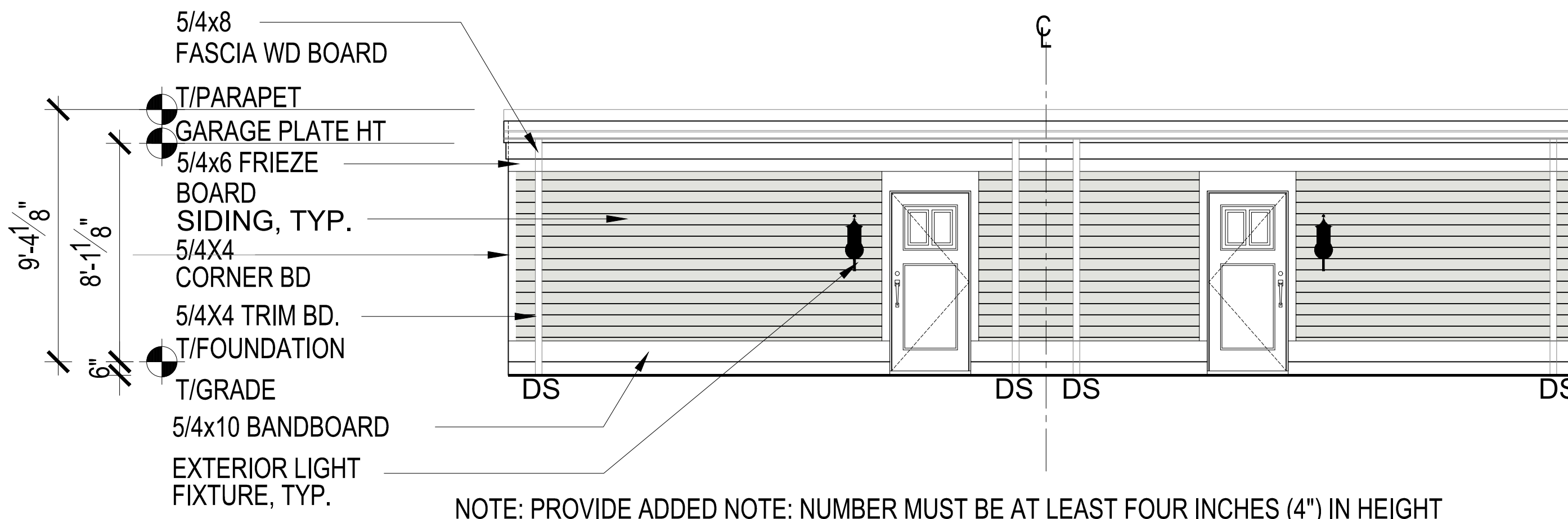
SHEET
A-114

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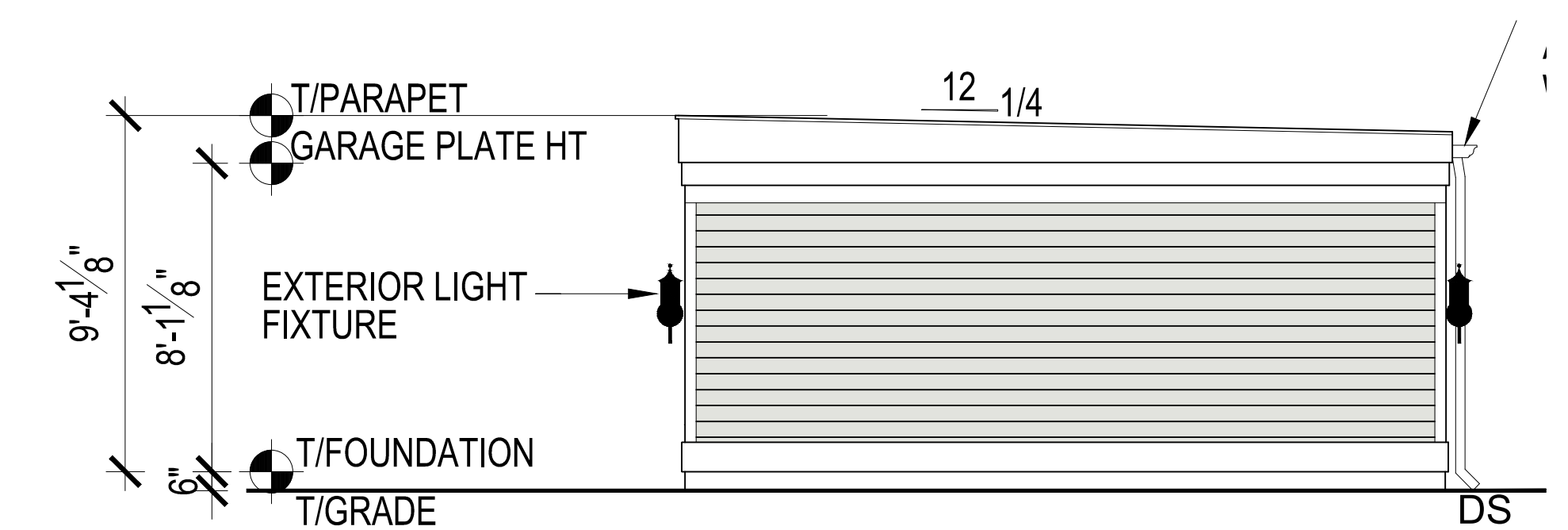
EXTERIOR LIGHT FIXTURE, TYP.
 INSTALL DOUBLE LIGHT FIXTURES ON THE GARAGES BETWEEN EACH GARAGE DOOR. ONE FIXTURE IS PREFERABLE.
 ALL GARAGE LIGHTING MUST BE ARRANGED TO PREVENT DIRECT GLARE BEAMS ONTO ANY ALLEY OR ADJOINING PRIVATE PROPERTY AND A COMPLIANT FIXTURE TYPE MUST BE SELECTED. PROVIDE SPEC SHEET

1 NORTH-FRONT ELEVATION 4 CAR GARAGE ASSEMBLY-TYP FOR 5
 SCALE: 1/4"=1'-0"

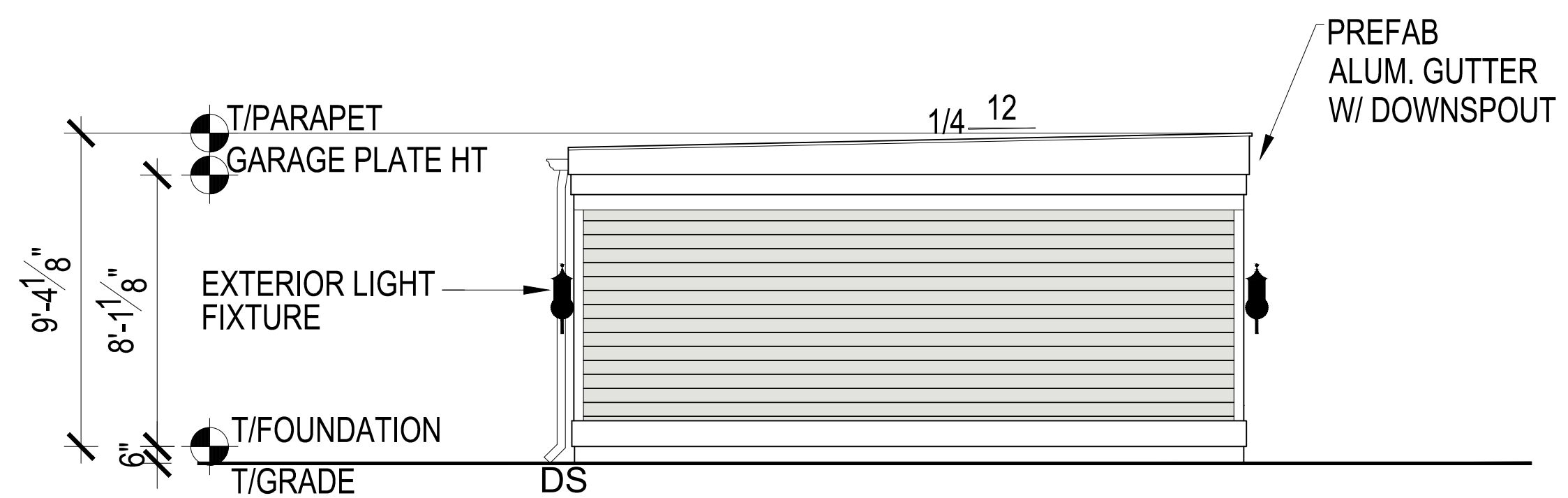


NOTE: PROVIDE ADDED NOTE: NUMBER MUST BE AT LEAST FOUR INCHES (4") IN HEIGHT AND PLACED IN A CONSPICUOUS LOCATION ON THE FRONT OF THE BUILDING, SUCH AS ON, ABOVE, OR IMMEDIATELY TO THE SIDE OF THE DOOR. THEY SHOULD BE EASILY AND DISTINCTLY READABLE, CONTRASTING WITH THEIR BACKGROUND

2 SOUTH-REAR ELEVATION 4 CAR GARAGE ASSEMBLY-TYP FOR 5
 SCALE: 1/4"=1'-0"



3 WEST-RIGHT SIDE GARAGE ELEVATION
 SCALE: 1/4"=1'-0"=1'-0"



4 EAST-LEFT SIDE GARAGE ELEVATION
 SCALE: 1/4"=1'-0"=1'-0"

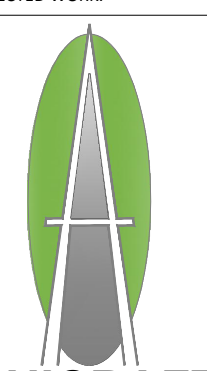
ELEVATION NOTES

- SEE COVER SHEET FOR GENERAL NOTES
- TYPICAL SIDING - JAMES HARDIE VERTICAL SIDING WITH BATTEN TRIM
 - EXTERIOR TRIM SHALL FIBER CEMENT TRIM:
 -TYPICAL CORNERS SHALL BE 5/4x6 FACING FRONT AND REAR W/ 5/4x4 AT SIDES.
 -TYPICAL FRIEZE SHALL BE 5/4x8 SMART TRIM.
 -TYPICAL WINDOW WRAP/SILL SHALL BE 5/4x4.
 -TYPICAL DOOR WRAP/SILL SHALL BE 5/4x4.
 -TYPICAL DOOR WRAP/SILL SHALL BE 5/4x4 W/ COMMON/DOOR WRAP/SILL VENEER SEMI-R/BRM SOFFIT.
 - PROJECTED RAKE SHALL BE FIBER CEMENT TRIM 1x3 ON 1x8 w/ SMART TRIM SOFFIT AND 5/4x8 SUBRAKE.
 - TYPICAL ROOF SHALL BE OWENS CORNING DURATEX PREMIUM SHINGLES (242# TO 262# PER SQUARE), OR EQ.
 - PROVIDE 36" WIDE ICE & WATER SHIELD STARTER AND AT ALL VALLEYS AND EAVES.
 - PROVIDE ALUMINUM FLASHING AT ALL ROOF/WALL INTERSECTIONS, ABOVE WINDOW/DOOR HEADS AND BAND BOARDS, AND SIMILAR PENETRATIONS.
 - GUTTERS AND DOWNSPOUTS SHALL BE SEAMLESS ALUMINUM w/ 3' EXTENSIONS AND SPLASHBLOCKS.
 - PROVIDE CONTINUOUS RIDGE VENT AND / OR 50 s. ALUM. ROOF VENTS NEAR RIDGE w/ EQUAL AREA OF SOFFIT VENTILATION. MINIMUM 1/300th OF ATTIC AREA.
 - WINDOW MANUFACTURER TO VERIFY EGRESS WINDOW AREA OF 5.7 s.f. PROVIDED IN EACH BEDROOM.
 - FIREPLACE FLUE TO MEET MANUFACTURER'S CLEARANCE RECOMMENDATIONS.
 - PROVIDE OSB SADDLES AT ROOF AND WALLS WHERE WATER FLOW OR SNOW BUILDUP MAY CAUSE DAMAGE. PROVIDE ICE AND WATER SHIELD ON ROOF / WALL.
 - PROVIDE BUILDING WRAP ON ALL WALL SHEATHING. ALL SEAMS TO BE LAPPED AND TAPED PER MANUFACTURER. LAP AND TAPE OVER FLASHING.
 - TYPICAL WINDOW/DOOR HEAD SHALL BE 1x4 ON 5/4x12 w/ ALUM. FLASHING ABOVE.

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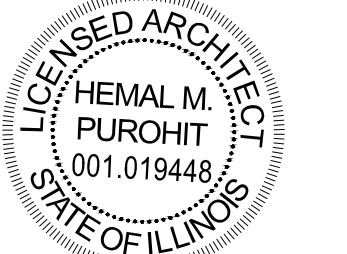
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OFFICE ADDRESS:
 1320 LACI CT,
 INDIAN CREEK
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 PH: 847. 409-6360
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Proposed 10 Units
 Assembly Building

General contractor
 Kaplan Custom Homes Inc.
 847. 219-1616 ph
 Developer
 Krosha Properties Inc.
 847. 219-1616 ph
 4170 Phyllis Rd
 Norhbrook IL, 60061

PROJECT ADDRESS:

3233-3249 Central Ave
 Evanston, IL 60201

DATE	DESCRIPTION
Issue Date:	NOVEMBER 21, 2024
Drawn By:	DB/HP

PROJECT NUMBER	241106.01
DRAWN BY	DB/HP
DESCRIPTION	10 UNITS BUILDING ASSEMBLY DETACHED GARAGES

SHEET
A-118

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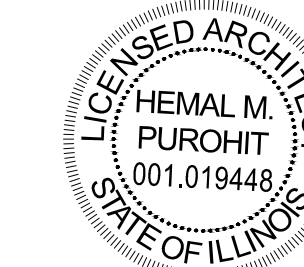
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 1320 LACI C.T.,
 INDIAN CREEK
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 Evanston, IL 60201

DATE DESCRIPTION

Issue Date: NOVEMBER 21, 2024

Drawn By: DB/HP

Sheet:

PROJECT NUMBER 241106.01

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DESCRIPTION 10 UNITS BUILDING ASSEMBLY EXTERIOR ELEVATIONS

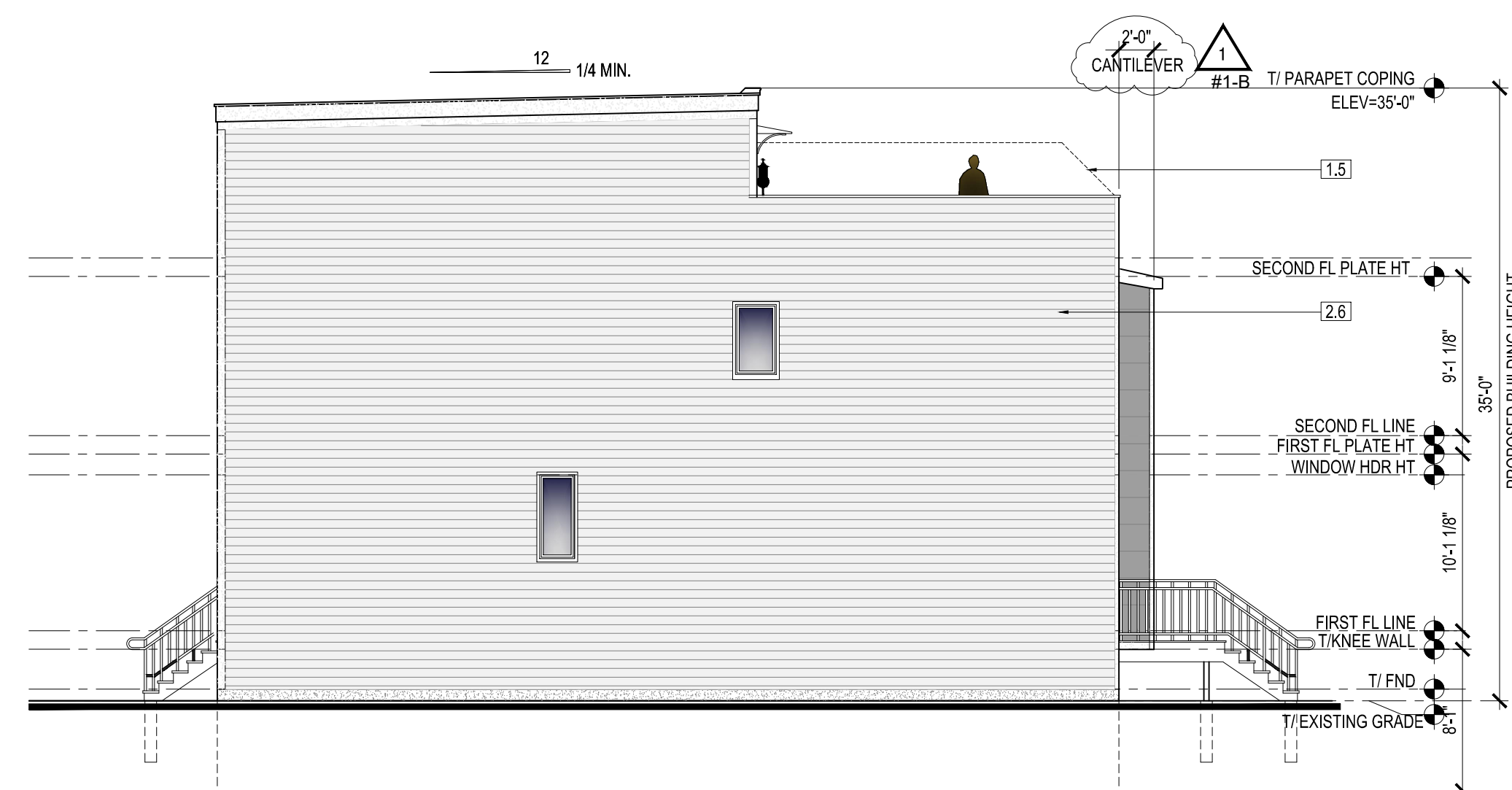
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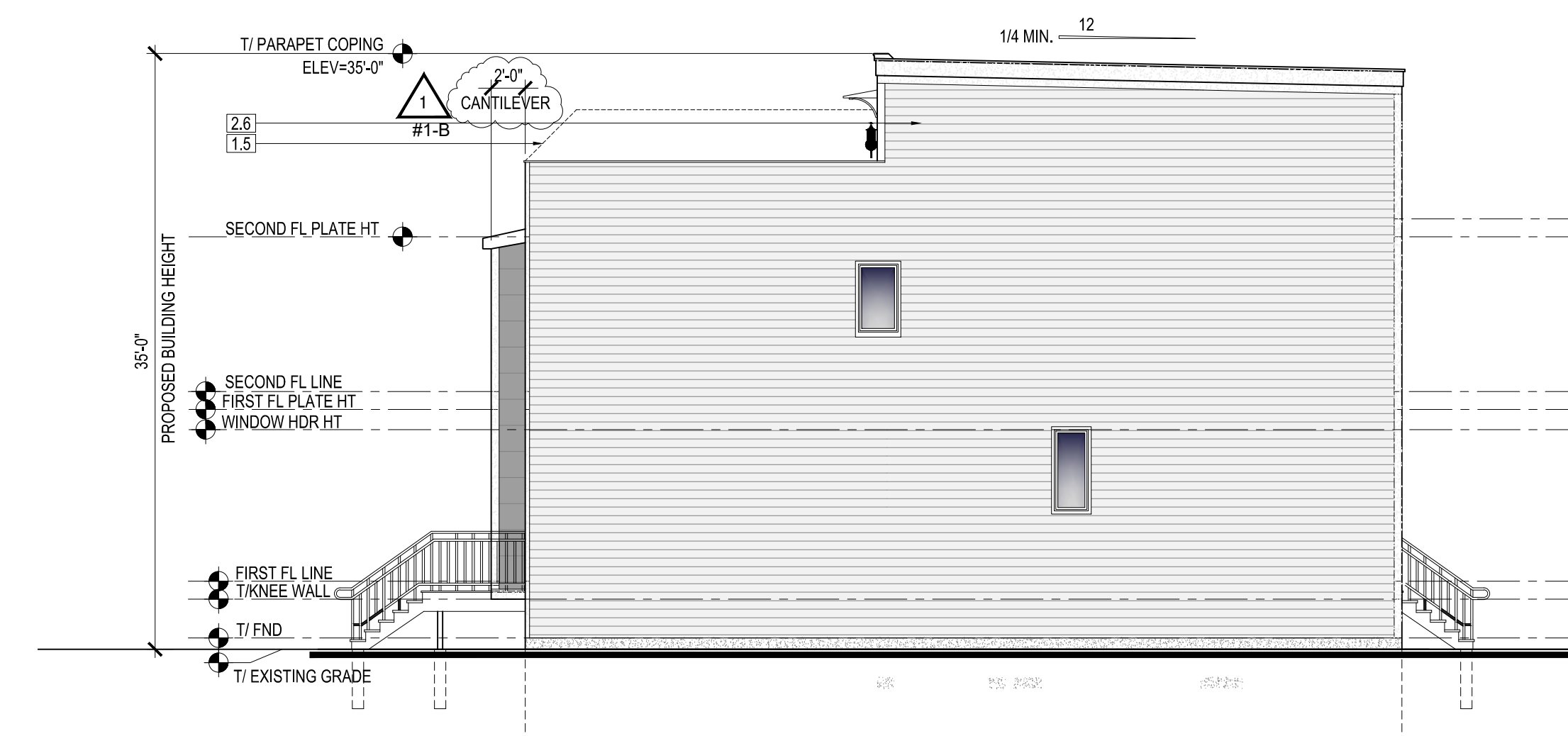


NOTE: SEE SHEET A-301 FOR BUILDING MATERIALS LEGEND

1 PROPOSED SOUTH-FRONT - 10 UNITS BUILDING ASSEMBLY ELEVATION
 SCALE: 1/8"=1'-0"



2 PROPOSED WEST-LEFT - 10 UNITS BUILDING ASSEMBLY ELEVATION
 SCALE: 1/8"=1'-0"



3 PROPOSED EAST-RIGHT - 10 UNITS BUILDING ASSEMBLY ELEVATION
 SCALE: 1/8"=1'-0"



4 PROPOSED NORTH-REAR - 10 UNITS BUILDING ASSEMBLY ELEVATION
 SCALE: 1/8"=1'-0"

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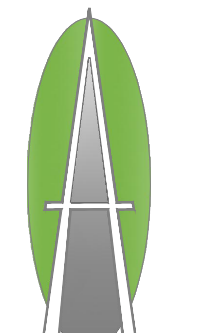
KEYNOTE LEGEND #1-B	
TAG	DESCRIPTION
1.1	BRICK VENEER
1.2	6x6" BOX FIBER CEMENT COLUMN WRAPS
1.3	EXTERIOR LIGHT FIXTURE BRONZE, DOWNLIGHT
1.4	PAC-150 STANDING SEAM METAL ROOFING PANELS OR EQUAL
1.5	6'-0" TERRACE UNIT DIVIDER FRAME WALL
2.1	ALUMINUM GUARD RAILING
2.2	8" FIBER CEMENT TRIM JAMES HARDIE OR EQUAL
2.3	12" FASCIA BAND BD. FIBER CEMENT JAMES HARDIE OR EQUAL
2.4	6" TRIM BOARD FIBER CEMENT TRIM, JAMES HARDIE OR EQUAL
2.5	ALUM. WINDOWS W/U-FACTOR 0.30 MAX.-COLOR TO BE SELECTED
2.6	FIBER CEMENT HORIZONTAL SIDING
2.7	ENTRY DOOR - EXACT FINISH & DESIGN TO BE SELECTED
2.9	TUFFBLOCK STEEL PREMIUM PLANK
3.0	PREMIUM WALL PANELS

EXTERIOR MATERIAL LEGEND #1-B	
	1/2" EXTERIOR FINISH MTC: WHITE JAMES HARDIE
	1/2" WHITE JAMES HARDIE HORIZONTAL SIDING & TRIM
	1/2" BRICK - 4" THICK BLACK
	MCM: BOARD MCM: BOARD
	MCM: BOARD ILLUMINATION: DOG

Document Record:

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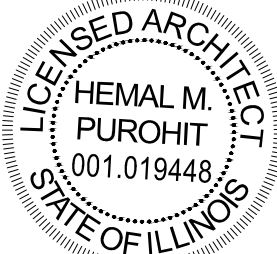
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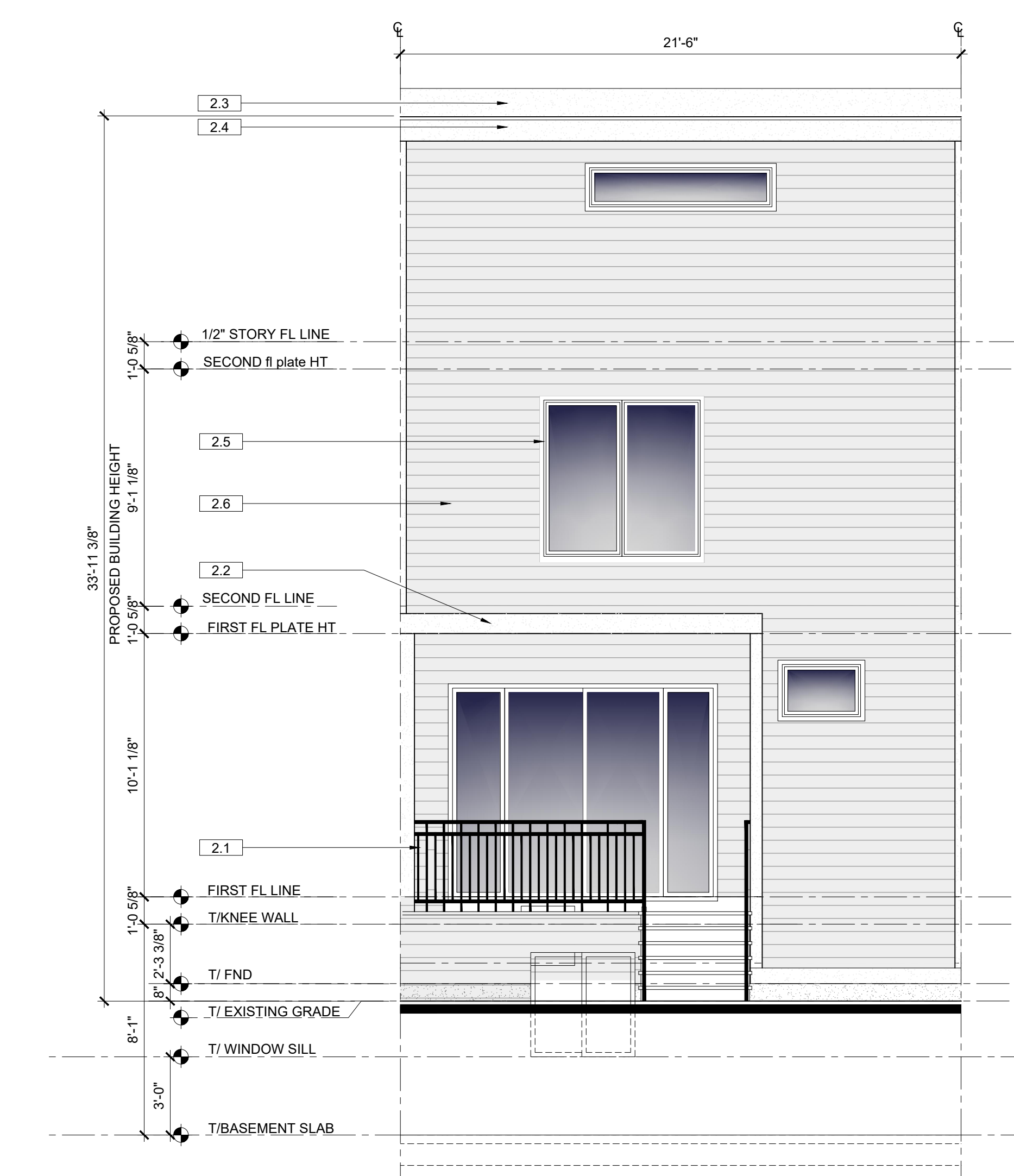
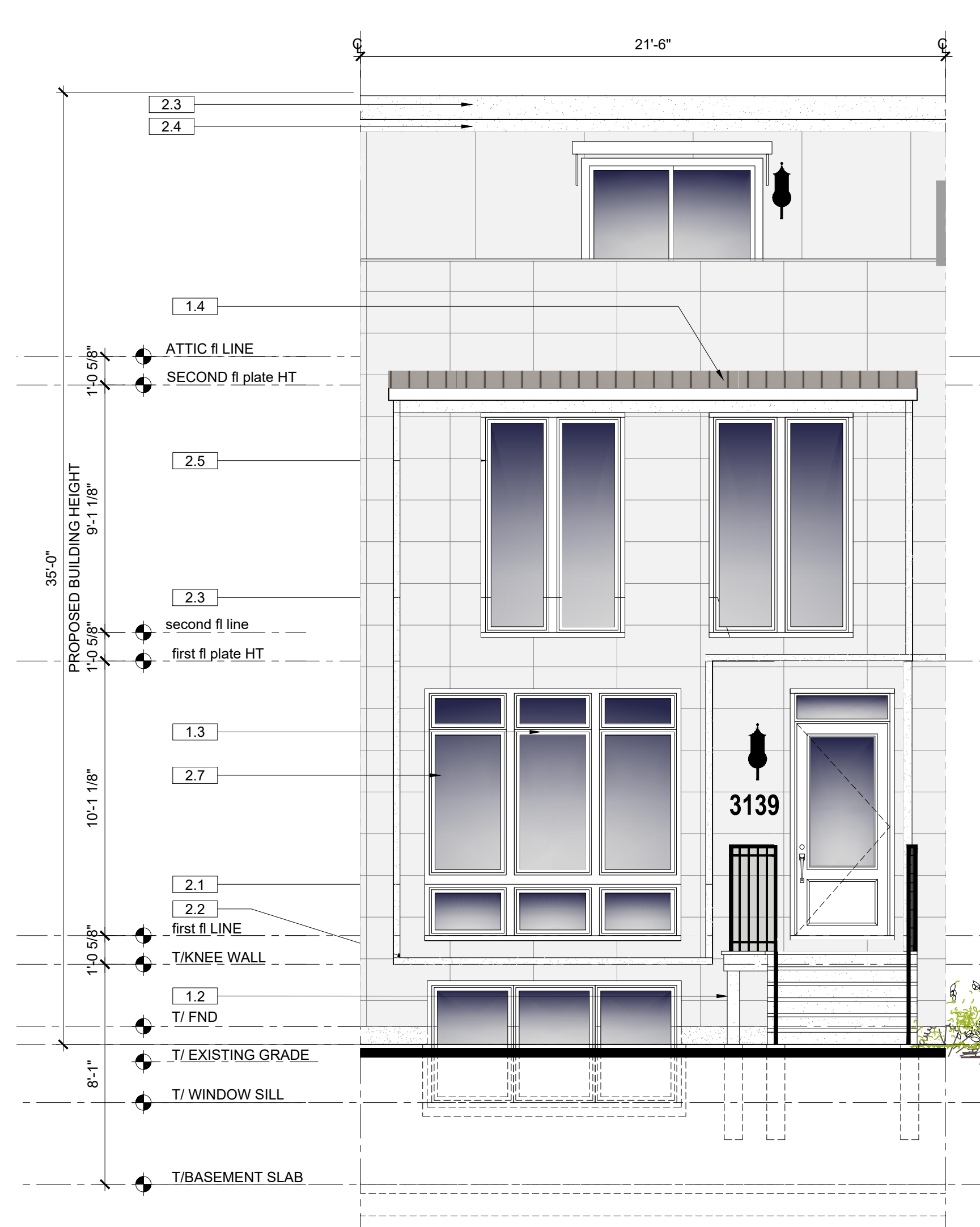
PROJECT NUMBER 241106.01

DRAWN BY DB/HP

DESCRIPTION 10 UNITS BUILDING ASSEMBLY CROSS BUILDING SECTION, UNIT ELEVATIONS

SHEET
A-301

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1 FRONT ELEVATION-CENTER UNIT 3141-I, 3141-B
SCALE: 1/4"=1'-0"
#1-B

2 FRONT ELEVATION-SIDE UNITS-3147, 3145, 3139, 3135
SCALE: 1/4"=1'-0"
#1-B

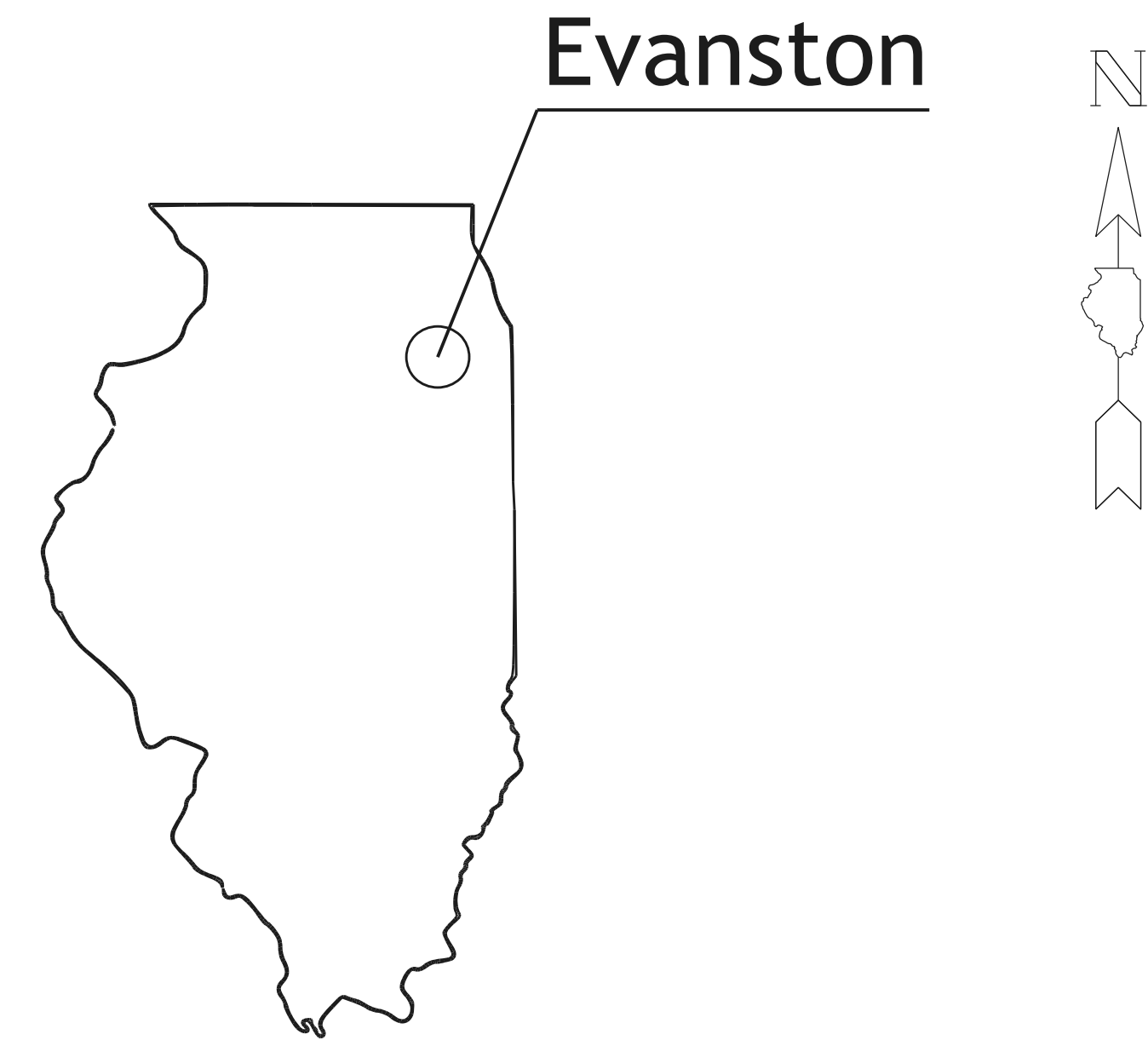
3 REAR UNIT ELEVATION-TYPICAL FOR 10
SCALE: 1/4"=1'-0"
#1-B

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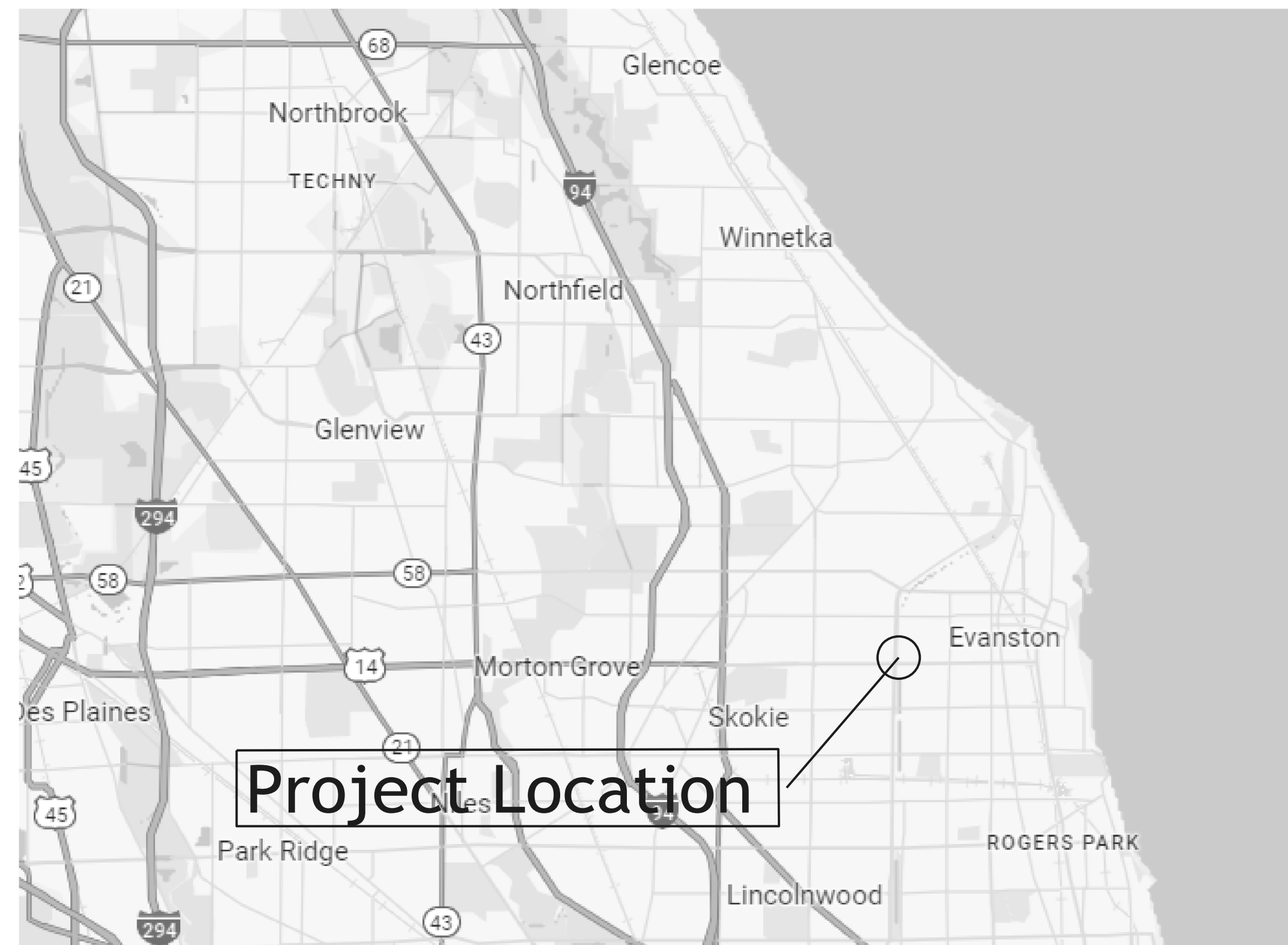
Preliminary Site Plan

New Building Development

3233 Central St., Evanston,
Illinois, Cook County, 60201



Civil Engineer:
Val Lykholap
Fluenta Consulting
201 E. Lakeside Dr.
Vernon Hills, IL 60061
Tel: (773)-349-5881




- Index of sheets:**
- C1 - Cover Sheet
 - C2 - Site Plan
 - C3 - Grading and Utility Plan
 - C4 - Erosion and Sediment
 - C5 - General Notes
 - C6 - Details

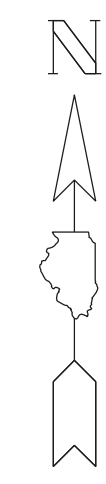
"To the best of my knowledge and belief, the drainage of surface waters will not be changed by the proposed development. If any drainage patterns will be changed, reasonable provisions have been made for the collection and diversion of such surface waters in to the public area, or drains approved for the use by the municipal engineer, and that such surface waters are planned for in accordance with generally accepted engineering practices so as to reduce the likelihood of damages to adjoining properties."

Benchmark:
Evanston Benchmark 54
SW of Dempster St. and McDaniel Ave.
Elevation = 17.84' Evanston Datum



By: 
May 31, 2026
Illinois Professional Engineer
Certificate No. 062.067021
Expiration date: 11-30-2027

No.	Revision/Issue	Date			Project	Sheet
					Fluenta Consulting 201 E. Lakeside Dr., Vernon Hills, IL 60061 Tel: 773-349-5881	C1
				Date		
				Scale		



PUBLIC ALLEY

225.00'

119.87'

119.83'

LEGEND

- PROPOSED CONCRETE
- PERMEABLE PAVERS
- 2.0" BITUMINOUS RESURFACING
- CURB AND GUTTER B6.12
- EXISTING CURB AND GUTTER
- EXISTING CURB
- SIGN
- GRASS AREA
- BUILDING ADDITION
- PROPOSED CONCRETE
- ADA TILES

GENERAL NOTES:

1. ALL CURB AND GUTTER TO BE B6:12 CURB & GUTTER UNLESS OTHERWISE SPECIFIED, SEE DETAIL.
2. ALL PROPERTY AREAS AND DIMENSIONS ARE APPROXIMATE AND SUBJECT TO CHANGE PER FINAL SURVEY.
3. ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.
4. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ALL EXISTING PAVEMENT DAMAGED DURING CONSTRUCTION WHICH IS NOT CALLED OUT ON A DEMOLITION PLAN
6. ALL EXISTING CONDITIONS SHOWN ON THE PLANS ARE PER SURVEY.
7. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BEFORE START OF CONSTRUCTION. IF ANY DISCREPANCIES EXIST NOTIFY THE ENGINEER AT ONCE
8. SITE BOUNDARY LINES, BOUNDARY DIMENSIONS AND BOUNDARY BEARINGS ARE FOR REFERENCE ONLY. ACTUAL SITE CONDITIONS MAY VARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING THE SITE AND FIELD VERIFYING ACTUAL GRADES, ELEVATIONS, DIMENSIONS AND DECLINATIONS.
9. THE CONTRACTOR SHALL CALL THE UTILITY LOCATING SERVICE AND HAVE THEM MARK THE LOCATION OF EXISTING UTILITIES AT LEAST TWO WORKING DAYS PRIOR TO BEGINNING OF WORK.
10. CONTRACTOR SHALL NOT INTERRUPT CURRENT TRAFFIC ACCESS PATTERNS TO EXISTING ADJACENT PROPERTIES MAINTAIN ACCESS FOR FIRE DEPARTMENT AND DELIVERY VEHICLES.
11. CONTRACTOR SHALL ERECT AND MAINTAIN BARRICADES, WARNING SIGNS AND TRAFFIC CONES PER LOCAL REQUIREMENTS. TRAFFIC CONTROL MEASURES SHALL BE APPROVED BY LOCAL JURISDICTION AND IN PLACE PRIOR TO CONSTRUCTION.
12. CONTRACTOR SHALL PERFORM THE WORK IN A WORKMANLIKE MANNER IN STRICT CONFORMANCE WITH THE BEST STANDARD PRACTICES USING QUALIFIED WORKER AND IN STRICT ACCORDANCE WITH THE DRAWING AND SPECIFICATIONS. ALL WORK SHALL MEET THE CODE REQUIREMENTS CURRENTLY ADOPTED BY GOVERNING AUTHORITY.
13. BUILDING DIMENSIONS AND STAKING OF BUILDING MUST BE VERIFIED BY GENERAL CONTRACTOR WITH PLANS PRIOR TO CONSTRUCTION.
14. EQUIPMENT AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURE'S RECOMMENDATIONS.
15. COORDINATE LOCATION OF FIRE LANE AND "NO PARKING" SIGNS WITH CITY FIRE DEPARTMENT.
16. REFER TO ARCHITECTURAL DRAWINGS FOR MONUMENT SIGN.
17. A HANDICAP RAMP SHALL BE INSTALLED AT ALL LOCATIONS WHERE A SIDEWALK ABUTS A DRIVE, CROSSWALK, OR OTHER PEDESTRIAN ACCESS LOCATION AS WELL AS ALL OTHER LOCATIONS NOTED ON PLANS.
18. CONTRACTOR SHALL REPAIR ANY EXISTING PAVEMENT, CONCRETE, LANDSCAPING ETC. DAMAGED DURING CONSTRUCTION.
19. CONTRACTOR TO PROTECT EXISTING UTILITIES, ADJUST PROPOSED IMPROVEMENTS AND GRADE AS REQUIRED FOR CONSTRUCTION.
20. PEDESTRIAN RAMP MUST BE BUILT WITH A MAXIMUM SLOPE OF 8.33% AND 1.5% CROSS SLOPE.
21. CONTRACTOR TO COORDINATE WITH THE UTILITY OWNER AND PROPERTY OWNER ALL ASPECTS OF ELECTRICAL SERVICE AND TRANSFORMER PAD.
22. SITE LIGHTING SHOWN IS FOR ILLUSTRATION PURPOSES ONLY. CONTRACTOR TO COORDINATE WITH THE OWNER ALL LIGHTING ASPECTS PRIOR TO CONSTRUCTION.
23. SEE STRUCTURAL PLANS FOR BUILDING FOUNDATION. SEE ARCHITECTURAL DRAWINGS FOR DETAILED BUILDING INFORMATION.
24. FOR FENCE AROUND THE DUMPSTER SEE DETAIL IN ARCHITECTURAL PLANS.

IMPERVIOUS AREA CALCULATIONS:

Total Lot Area: 26962.05 SF

	Existing	Proposed
Pervious	26962.05 SF	8250.80 SF
Buildings	0.00 SF	11072.50 SF
Walkway/Pads	0.00 SF	2881.25 SF
Parking	0.00 SF	4000.00 SF

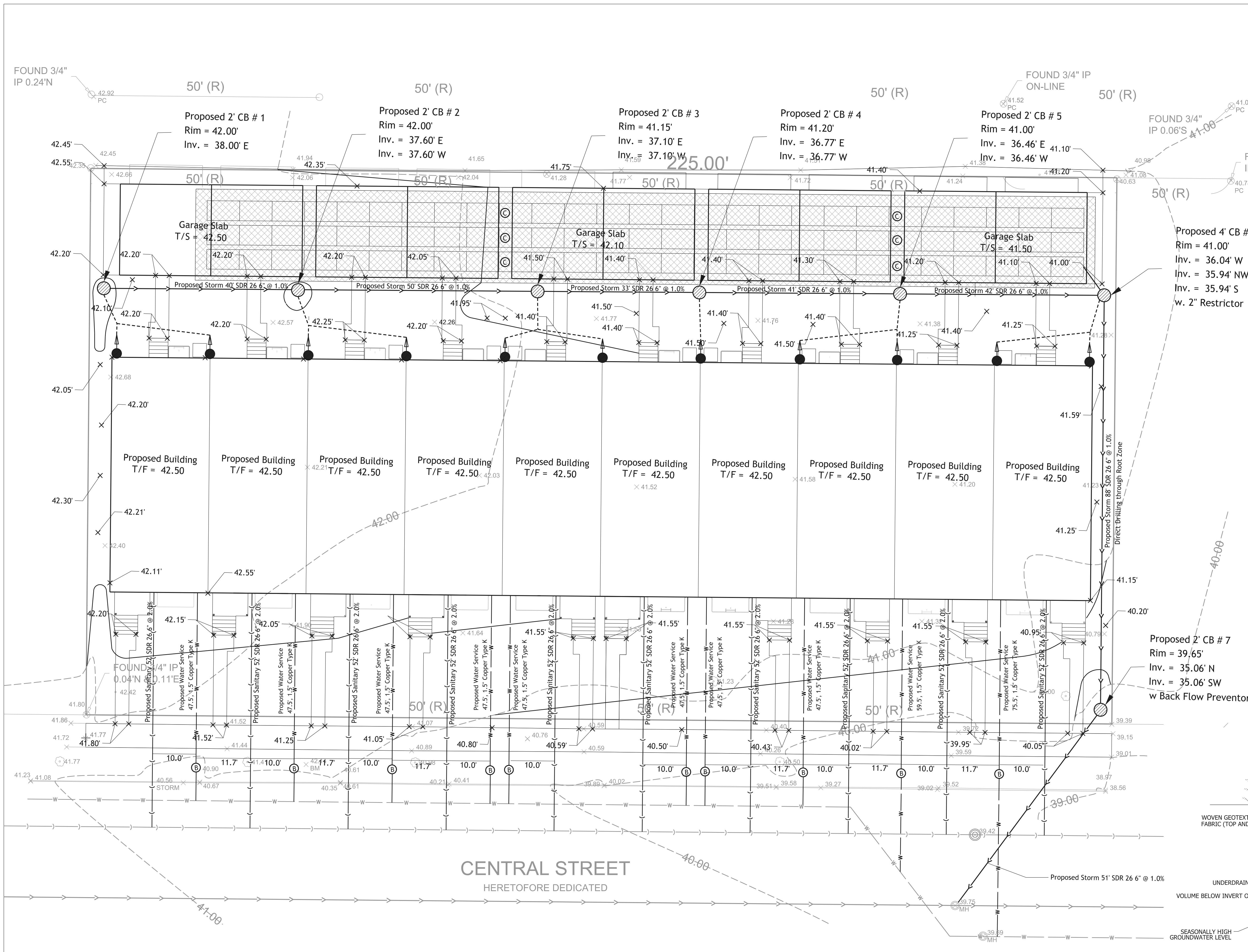
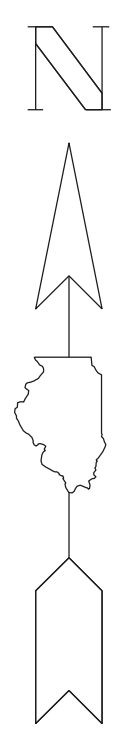
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Site Plan



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201 E. Lakeside Dr.,
Vernon Hills, IL 60061
Tel: 773-349-5881

Project	C2
Date	
Scale 1" - 20'	



LEGEND

- ← EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING SANITARY SEWER
- ⊗ PROPOSED STORM CATCH BASIN
- ⊙ EXISTING SANITARY MANHOLE
- ⊙ PROPOSED SANITARY MANHOLE
- ⊙ EXISTING STORM MANHOLE
- W — EXISTING WATER LINE
- W — PROPOSED WATER LINE
- ⊙ PROPOSED GAS METER
- ⊙ PROPOSED SUMP PUMP
- ⊙ CLEANOUT
- ⊙ WATER VAULT
- ⊙ EXISTING FIRE HYDRANT
- ⊗ PROPOSED DETENTION STORAGE
- PROPOSED DOWNSPOUT
- EXISTING DOWNSPOUT
- 4" UNDERDRAIN

Detention Storage Breakdown

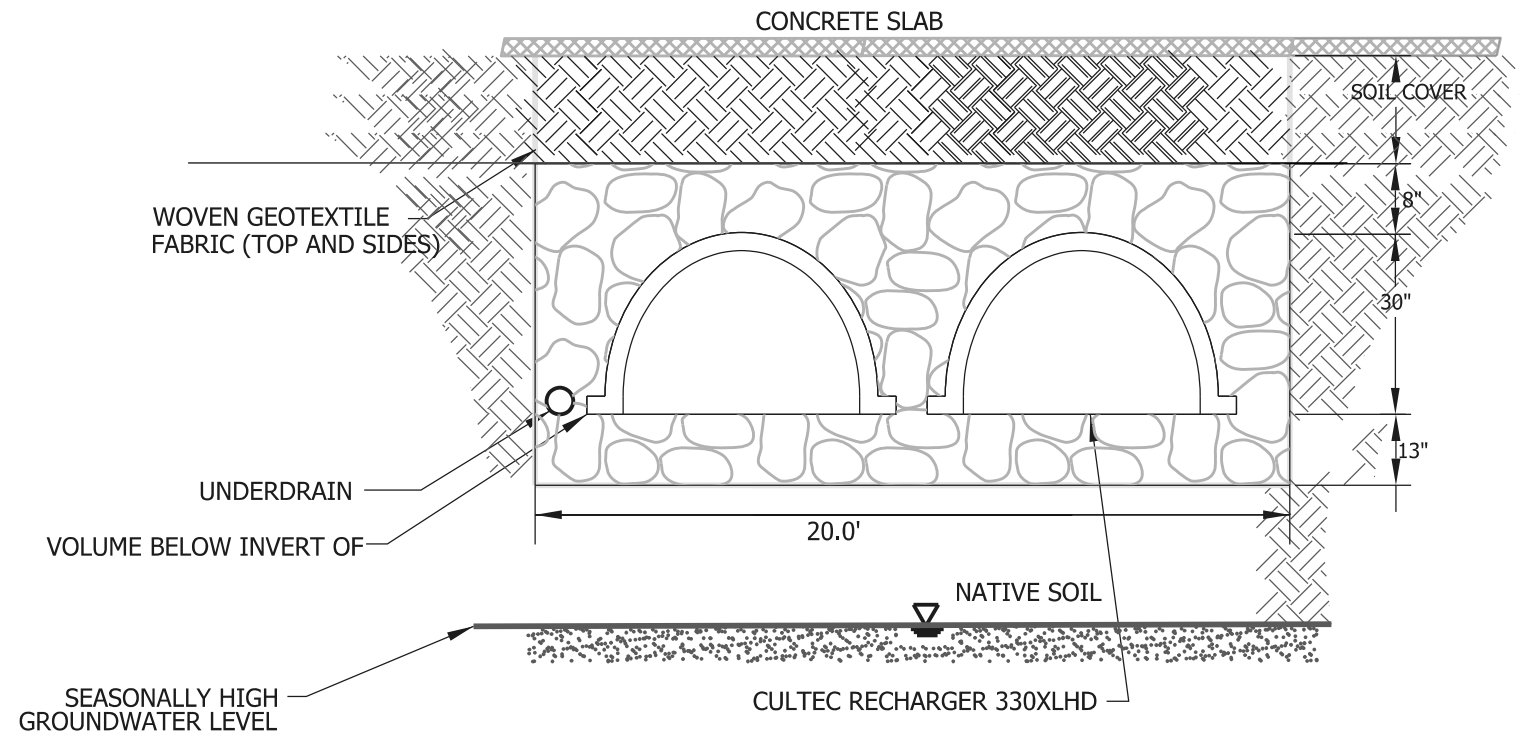
VOLUME TYPE	CAPACITY	QUANTITY	STORAGE
CulTec System		1 Unit	7610.80
TOTAL			7610.80

Volume Control

VOLUME CONTROL REQUIRED: 1601.16 CF

VOLUME TYPE	POROSITY	MEDIA VOLUME	STORAGE VOLUME	VOLUME PROVIDED
COARSE AGG. (BELOW INVERT)	0.36	V _c	0.36 x V _c	1710.72
Total Volume = 20.0 x 198.0 x 1.2 x 0.36 =			1710.72 CF	TOTAL 1710.72

Underground Storage Chambers (Typ.)



CENTRAL STREET
HERETOFORE DEDICATED

No.	Revision/Issue	Date

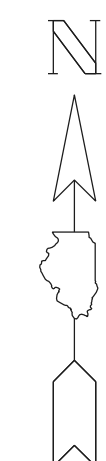
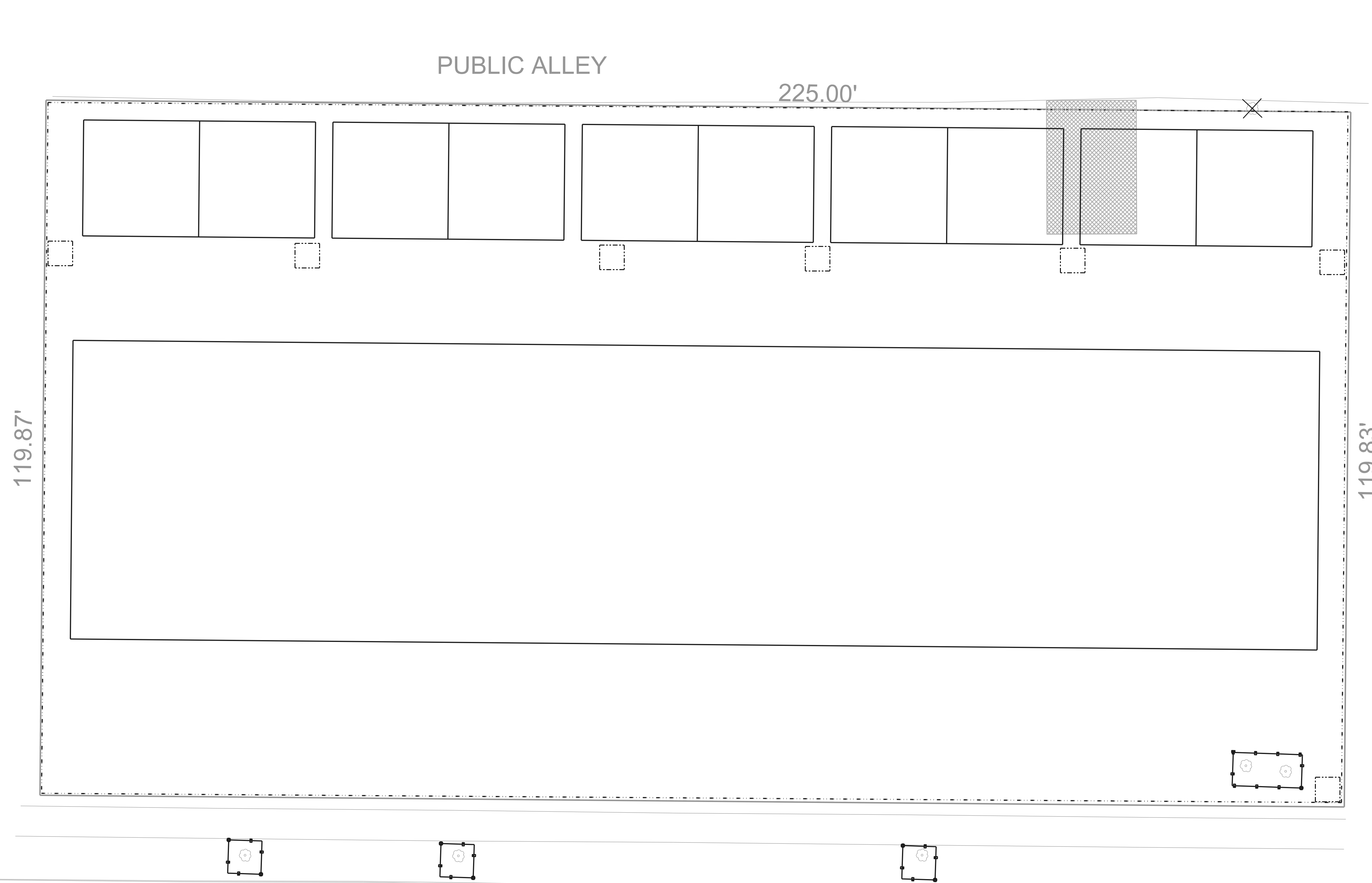
Utility Plan



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Vernon Hills, IL 60061
Tel: 773-349-5881

Project	
Date	
Scale	1" - 20'

Sheet
C3



LEGEND




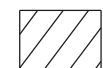




-  SILT FENCE
-  CONSTRUCTION ENTRANCE/EXIT
-  SEDIMENT BASKETS
-  TOPSOIL LOCATION
-  CONCRETE WASHOUT
-  CONSTRUCTION ENTRANCE
-  TREE FENCE
-  TREE REMOVAL

Table:

ID	Species	Location	Diameter	Condition	Notes
1	Maple	Parkway	16"	Fair	Tip dieback
2	Maple	Parkway	14"	Fair	Tip dieback
3	Maple	Parkway	12"	Fair	Tip dieback
4	Spruce	Private	16"	Fair	N/A
5	Locust	Private	34"	Fair	N/A
6	Hackberry	Private	13"	Fair	N/A

No.	Revision/Issue	Date

Erosion and Sediment Control Plan



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 Vernon Hills, IL 60061
 Tel: 773-349-5881

Project
Date
Scale 1" = 20'

Sheet
C4

GENERAL NOTES & SPECIFICATIONS:

1. ALL UTILITY AND CONDUIT TRENCHES SHALL BE BACKFILLED WITH IDOT CA-7 BACKFILL WHEN ANY PORTION OF THE TRENCH IS WITHIN 5' OF PROPOSED AND EXISTING PAVEMENT, SIDEWALK, CURB & GUTTER OR DRIVEWAYS.
2. ALL UNDERGROUND CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE 2014 "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS", ILLINOIS MUNICIPAL LEAGUE, LATEST EDITION, EXCEPT AS MAY BE MODIFIED BY PROJECT PLANS AND SPECIFICATIONS.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR THE CITY OF EVANSTON. EACH CONTRACTOR SHALL BE PROVIDED WITH THE APPLICABLE SECTIONS OF THIS SPECIFICATION IN THE BID PACKAGE.
4. ALL ELEVATIONS SHOWN ARE USGS DATUM.
5. THE CITY OF EVANSTON BUILDING AND ENGINEERING DEPARTMENT SHALL BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO THE START CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING ALL JURISDICTIONAL AGENCIES AND ALL UTILITY COMPANIES WITH FACILITIES THAT MAY BE AFFECTED BY THE PROPOSED CONSTRUCTION, AND ENSURING THAT ALL UNDERGROUND LINES ARE LOCATED, PRIOR TO COMMENCING CONSTRUCTION.
6. ALL WORK TO MEET ALL STATE AND LOCAL CODES.
7. THE CONTRACTOR(S) SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC. FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION AND TESTING OF THE WORK ON THIS PROJECT.
8. ALL WORK SHALL COMPLY WITH THE IEPA "STANDARD SPECIFICATION FOR SOIL EROSION AND SEDIMENT CONTROL 2011 EDITION." THE CONTRACTOR SHALL TAKE WHATEVER STEPS ARE NECESSARY TO CONTROL EROSION ON THE SITE. EROSION CONTROL FEATURES SHALL BE CONSTRUCTED CONCURRENTLY WITH OTHER WORK ON THE SITE. THE CONTRACTOR SHALL TAKE SUFFICIENT PRECAUTIONS TO PREVENT POLLUTION OF STREAMS, LAKES AND RESERVOIRS WITH FUELS, OILS, BITUMS, CALCIUM CHLORIDE OR OTHER HARMFUL MATERIALS. HE SHALL CONDUCT AND SCHEDULE HIS OPERATIONS SO AS TO AVOID OR MINIMIZE SILTATION OF STREAMS, LAKES AND RESERVOIRS. HAULING WILL NOT BE ALLOWED WHEN THE WORK SITE IS TOO WET TO MAINTAIN ACCEPTABLE CONDITIONS ON ADJACENT STREETS. ADJACENT STREETS AND DRIVEWAYS SHALL BE MANUALLY OR MECHANICALLY SWEEPED PERIODICALLY AS MAY BE RESPONSIBLE FOR REMOVING SEDIMENT RESULTING FROM THIS PROJECT FROM STORM SEWERS AND DRAINAGE STRUCTURES AT NO ADDITIONAL COST.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLIANCE WITH ALL OF THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT INCLUDING THOSE REQUIREMENTS FOR OPEN CUT TRENCHES AND SHEETING AND BRACING AS REQUIRED. AT NO TIME WILL THE ENGINEER OR ANY OF HIS EMPLOYEES BE HELD LIABLE, EITHER DIRECTLY OR AS THIRD PARTY PARTICIPANTS TO ANY LITIGATION CONCERNED WITH CONSTRUCTION PROJECT.
10. AREAS OF PAVEMENT FAILURE REQUIRE FULL DEPTH PATCHING.

STORM SEWER NOTES & SPECIFICATIONS:

1. THERE SHALL BE A MAXIMUM OF 2 ADJUSTING RINGS WITH A MAXIMUM TOTAL HEIGHT OF 6".
2. ANY ADJUSTMENT IN PAVED AREAS SHALL USE PREFORMED RUBBER ADJUSTING RINGS, WHICH ARE 3" OR LESS IN THICKNESS.
3. CONNECTION TO EXISTING STORM SEWER STRUCTURES SHALL BE DONE BY CORING THE CONCRETE BARREL SECTION.
4. PRECAST CONCRETE SECTIONS FOR MANHOLES, CATCH BASINS, INLETS SHALL MEET ASTM C 478.
5. PRIOR IEPA APPROVAL IS REQUIRED IN ORDER TO CONSTRUCT STORM MAINS OVER WATER MAINS.

General Notes

6. ALL EXISTING FIELD DRAINAGE TILES ENCOUNTERED OR DAMAGED DURING CONSTRUCTION ARE TO BE RESTORED TO THEIR ORIGINAL CONDITION, PROPERLY REROUTED, AND/OR CONNECTED TO THE COMBINED SEWER SYSTEM. THE CONTRACTOR SHALL KEEP A RECORD OF ALL LOCATIONS OF FIELD DRAINAGE THE ENCOUNTERED UNLESS OTHERWISE NOTED.
7. ALL UTILITY COMPANY CONDUITS ARE NOT NECESSARILY SHOWN ON THE DRAWINGS AND MUST BE LOCATED IN THE FIELD PRIOR TO CONSTRUCTION.
8. THE CONTRACTOR SHALL FIELD VERIFY THE EXISTING CONDITIONS AND NOTIFY FLUENTA CONSULTING OF ANY DISCREPANCIES.
9. CONTRACTOR WILL BE RESPONSIBLE FOR REPAIRING ALL EXISTING PAVEMENT DAMAGED DURING CONSTRUCTION THAT IS NOT SPECIFIED.
10. SUBGRADE PREPARATION FOR ALL PAVEMENTS SHOWN ON THE DRAWINGS SHALL INCLUDE TOPSOIL STRIPPING AND REMOVAL OF ANY UNDERLYING UNSTABLE/ DELETERIOUS MATERIAL. THE PAVEMENT SUBGRADE AND STONE BASE SHALL EACH BE PROOF ROLLED BY A LOADED SEMI DUMP TRUCK. UNSUITABLE MATERIAL IDENTIFIED DURING THE PROOF ROLL SHALL BE REMOVED. FOR THE SUBGRADE, UNDERCUTS SHALL BE FILLED WITH FABRIC AND 3" ROCK.
11. APPLY PRIME COAT UNIFORMLY OVER SURFACE OF COMPACTED AGGREGATE BASE AT A RATE OF 0.40 GAL/SY. APPLY ENOUGH MATERIAL TO PENETRATE AND SEAL, BUT NOT FLOOD SURFACE. ALLOW PRIME COAT TO CURE FOR 72 HOURS MINIMUM.
12. IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO NOTIFY J.U.L.I.E PRIOR TO PERFORMING ANY EXCAVATIONS.
13. THE CONTRACTOR SHALL PROVIDE THE MUNICIPALITY AND FLUENTA CONSULTING WITH A COMPLETE SET OF RECORD DRAWINGS WITHIN 30 DAYS OF COMPLETION OF THE WORK. DRAWINGS SHALL INCLUDE ELEVATIONS, LOCATION OF OTHER UTILITIES, SERVICES, FIELD TILES, ETC.
14. ALL PROPERTY DIMENSIONS AND AREAS ARE APPROXIMATE AND SUBJECT TO CHANGE PER FINAL SURVEY.
15. ALL DIMENSIONS ARE FACE OF CURB UNLESS OTHERWISE NOTED.
16. ALL CURB RADII ARE FACE OF CURB UNLESS OTHERWISE NOTED.
17. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
18. CONTRACTORS TO VERIFY DIMENSIONS PRIOR TO STARTING WORK AND NOTIFY ENGINEER IF ANY DISCREPANCIES ARE FOUND.
19. CONTRACTOR TO PROVIDE TEMPORARY TRAFFIC CONTROL MEASURES DURING CONSTRUCTION OF ENTRANCES OF R.O.W. IN ACCORDANCE WITH I. D.O.T. REQUIREMENTS.
20. CONTRACTOR SHALL VERIFY WITH LOCAL MUNICIPALITY OR CONTROLLING JURISDICTION AS TO THE NECESSITY FOR AND REQUIREMENTS RELATING TO THE INSPECTION BY AN APPROVED ON-SITE ENGINEER.
21. SHOULD THE GENERAL NOTES & SPECIFICATIONS OR DETAILS CONFLICT WITH THE CITY OF EVANSTON GENERAL NOTES & SPECIFICATIONS OR DETAILS THE MOST RESTRICTIVE SPECIFICATION OR DETAIL SHALL DICTATE.

TRAFFIC CONTROL NOTES & SPECIFICATIONS:


1. THE CONTRACTOR IN ACCORDANCE WITH I.D.O.T. STANDARDS SHALL PROVIDE ALL REQUIRED TRAFFIC CONTROL AND SIGNS.
2. THE CONTRACTOR SHALL MAINTAIN TEMPORARY ACCESS TO ALL ROADWAYS AND DRIVEWAYS DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY HOMEOWNERS AT LEAST 24 HOURS IN ADVANCE OF TEMPORARY OPEN CUTS REQUIRED TO NSTALL UTILITIES ACROSS DRIVEWAYS.

EARTHWORK & SPECIFICATIONS:

1. ALL TRENCHED IN GREEN / LANDSCAPE AREA SHALL BE BACKFIELD WITH EARTH COMPACTED TO 90%. A MINIMUM OF 6"OF TOPSOIL SHALL BE PROVIDED IN GREEN / LANDSCAPE AREAS. TRENCHES IN ALL PAVED AREAS, CURBED, AND SIDEWALK AREAS SHALL BE BACK FILLED WITH APPROVED ENGINEERING BACKFILL COMPACTED AS 95% MODIFIED PROCTOR.
2. ALL DISTURBED AREAS SHALL BE RESTORED AND POSITIVE DRAINAGE MUST BE MAINTAINED.
3. ALL LANDSCAPING MUST BE RESTORED TO ITS ORIGINAL CONDITION. REPLACEMENT OF ALL BLACK DIRT, SEED, TREES, BUSHES, ETC. SHALL BE PROVIDED BY THE CONTRACTOR AND GUARANTEED FOR ONE YEAR FOLLOWING FINAL INSPECTION BY THE LOCAL GOVERNMENTAL AGENCY HAVING JURISDICTION. GUARANTEE SHALL INCLUDE REPAIR OF TRENCH SETTLEMENTS AS NEEDED TO BRING TRENCH TO ORIGINAL GRADE.
4. EXISTING DRAINAGE PATTERNS SHALL BE RESTORED FOLLOWING CONSTRUCTION. POSITIVE DRAINAGE SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
5. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALK, CURBS, PAVEMENTS, DRIVEWAYS, AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
6. AFTER STRIPPING AND ROUGH GRADING IS COMPLETED, THE EXPOSED SUB GRADE SHOULD BE PROOF ROLLED. PROOF ROLLING MAY BE ACCOMPLISHED WITH A FULLY LOADED, TANDEM-AXLE DUMP TRUCK OR OTHER EQUIPMENT PROVIDING AN EQUIVALENT SUB GRADE LOADING. STATE EROSION CONTROL MEASURES MUST BE IMPLEMENTED AND MAINTAINED THROUGHOUT CONSTRUCTION.
7. CONTRACTOR SHALL PROVIDE DUST CONTROL DURING SITE WORK DEMOLITION OR REMOVAL. CONTRACTOR SHALL CONTROL DUST CREATED FROM ON-SITE CONSTRUCTION AND ASSOCIATED TRAFFIC USING WATER OR OTHER APPROVED MEANS.
8. PROTECT TREES, PLANT GROWTH, AND FEATURES DESIGNATED TO REMAIN AS FINAL LANDSCAPING. CONSTRUCTION EQUIPMENT SHALL NOT TRAVEL UNDER DRIP LINES OF TREES TO BE PROTECTED.
9. PROTECT BENCHMARKS FROM DAMAGE OR DISPLACEMENT.
10. REMOVE TREES AND SHRUBS, STUMP, AND ROOT SYSTEM TO A MINIMUM DEPTH OF 42 INCHES.
11. MOISTURE CONTROL-WHERE SUBGRADE OR LAYER OF SOIL MATERIAL MUST BE MOISTURE CONDITIONED BEFORE COMPACTION, UNIFORMLY APPLY WATER TO SURFACE OF SUBGRADE OR LAYER OF SOIL MATERIAL. APPLY WATER IN MINIMUM QUANTITY AS NECESSARY TO PREVENT FREE WATER FROM APPEARING ON SURFACE DURING OR SUBSEQUENT TO COMPACTION OPERATIONS.
12. REMOVE AND REPLACE, OR SCARIFY AND AIR DRY, SOIL MATERIAL THAT IS TOO WET TO PERMIT COMPACTION TO SPECIFIED DENSITY
13. STOCKPILE OR SPREAD SOIL MATERIAL THAT HAS BEEN REMOVED BECAUSE IT IS TOO WET TO PERMIT COMPACTION.

FIRE DEPARTMENT NOTES & SPECIFICATIONS:

1. ENSURE THAT THE DRIVABLE PAVEMENT, SERVICING AS FD ACCESS DRIVE/LANE, HAS A MINIMUM WIDTH OF 20 FEET WITH A CLEAR HEIGHT OF 13 FEET/ 6 INCHES. (IFC 503.2.1)
2. ENSURE PARKING SPACES TO NOT ENCROACH ON APPARATUS ACCESS ROAD/LANE. TRUCK TURNING RADIUS SUBJECT TO FIELD TEST ON SITE. (CALL FIRE DISTRICT FOR TURNING RADIUS INFORMATION).
3. FIRE APPARATUS ACCESS ROAD/LANE MUST BE OPERATIONAL PRIOR TO THE INITIATION OF CONSTRUCTION. PLEASE CONTACT FIRE DISTRICT FOR SITE INSPECTION. (IFC 1410.1)
4. APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON SITE. (IFC 1412.1)
5. WHERE A FIRE HYDRANT IS LOCATED ON A FIRE APPARATUS ACCESS ROAD/LANE, THE MINIMUM ROAD WIDTH SHALL BE 26 FEET. (IFC D103.1)

No.	Revision/Issue	Date	General Notes		Fluenta Consulting 201 E. Lakeside Dr., Vernon Hills, IL 60061 Tel: 773-349-5881	Project	Sheet C5
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						Scale	

16.0' PUBLIC ALLEY

225.00'

80 SQ.FT. LAWN AREA IN SIDE YARD

2,010 SQ.FT. LAWN AREA IN REAR YARD (TOTAL AREA)

230 SQ.FT. LAWN AREA IN SIDE YARD

245 SQ.FT. LAWN AREA IN SIDE YARD

120.85'

119.52'

PROPOSED 2-1/2 STORY TOWNHOMES

11 COMPACT KOREANSPICE VIBURNUM

3 DOUBLE PLAY DOOZIE SPIREA

SUGAR MAPLE

15 SQ.FT. PURPLELEAF WINTERCREEPER

3,250 SQ.FT. LAWN AREA IN FRONT YARD (TOTAL AREA)

30 LN.FT. 36" TALL METAL FENCE AT EACH PROPERTY. (STYLE TO BE DETERMINED) (TOTAL, 300 LN.FT. FENCE)

30 SQ.FT. PURPLELEAF WINTERCREEPER

6 GREEN VELVET BOXWOOD

4 TOR BIRCHLEAF SPIREA

3 GREEN VELVET BOXWOOD

5 PRAIRIE ROSE FLOWERING CRABAPPLE

5 JAPANESE TREEL LILAC

30 SQ.FT. PENNSYLVANIA SEDGE

30 SQ.FT. PURPLELEAF WINTERCREEPER

4 TOR BIRCHLEAF SPIREA

3 GREEN VELVET BOXWOOD

30 SQ.FT. PURPLELEAF WINTERCREEPER

30 SQ.FT. PENNSYLVANIA SEDGE

6 GREEN VELVET BOXWOOD

30 SQ.FT. PURPLELEAF WINTERCREEPER

30 SQ.FT. PENNSYLVANIA SEDGE

4 TOR BIRCHLEAF SPIREA

3 GREEN VELVET BOXWOOD

30 SQ.FT. PURPLELEAF WINTERCREEPER

30 SQ.FT. PENNSYLVANIA SEDGE

6 GREEN VELVET BOXWOOD

30 SQ.FT. PURPLELEAF WINTERCREEPER

30 SQ.FT. PENNSYLVANIA SEDGE

4 DOUBLE PLAY DOOZIE SPIREA

3 GREEN VELVET BOXWOOD

30 SQ.FT. PURPLELEAF WINTERCREEPER

30 SQ.FT. PENNSYLVANIA SEDGE

6 GREEN VELVET BOXWOOD

30 SQ.FT. PURPLELEAF WINTERCREEPER

30 SQ.FT. PENNSYLVANIA SEDGE

4 DOUBLE PLAY DOOZIE SPIREA

3 GREEN VELVET BOXWOOD

30 SQ.FT. PURPLELEAF WINTERCREEPER

30 SQ.FT. PENNSYLVANIA SEDGE

30 SQ.FT. PURPLELEAF WINTERCREEPER

6 GREEN VELVET BOXWOOD

30 SQ.FT. PURPLELEAF WINTERCREEPER

30 SQ.FT. PENNSYLVANIA SEDGE

4 TOR BIRCHLEAF SPIREA

3 GREEN VELVET BOXWOOD

30 SQ.FT. PURPLELEAF WINTERCREEPER

30 SQ.FT. PENNSYLVANIA SEDGE

3 DOUBLE PLAY DOOZIE SPIREA

SUGAR MAPLE

45 SQ.FT. PURPLELEAF WINTERCREEPER

FRONT WALKWAY

PUBLIC SIDEWALK

central ave

SCALE: 1/8" = 1'-0"

PLANT SCHEDULE - TREES & SHRUBS

SHADE TREE							
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	CONTAINER	CALIPER	QUANTITY	NOTES
	ST1	ACER SACCHARUM	SUGAR MAPLE	B & B	2"	1	N/A

ORNAMENTAL TREE							
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE	QUANTITY	NOTES
	ST2	SYRINGA RETICULATA	JAPANESE TREE LILAC	B & B	2"	5	N/A
	OT4	MALUS 'PRAIRIE ROSE'	PRAIRIE ROSE CRABAPPLE	B & B	2" CALIPER (TREE FORM)	5	STANDARD TRUNK

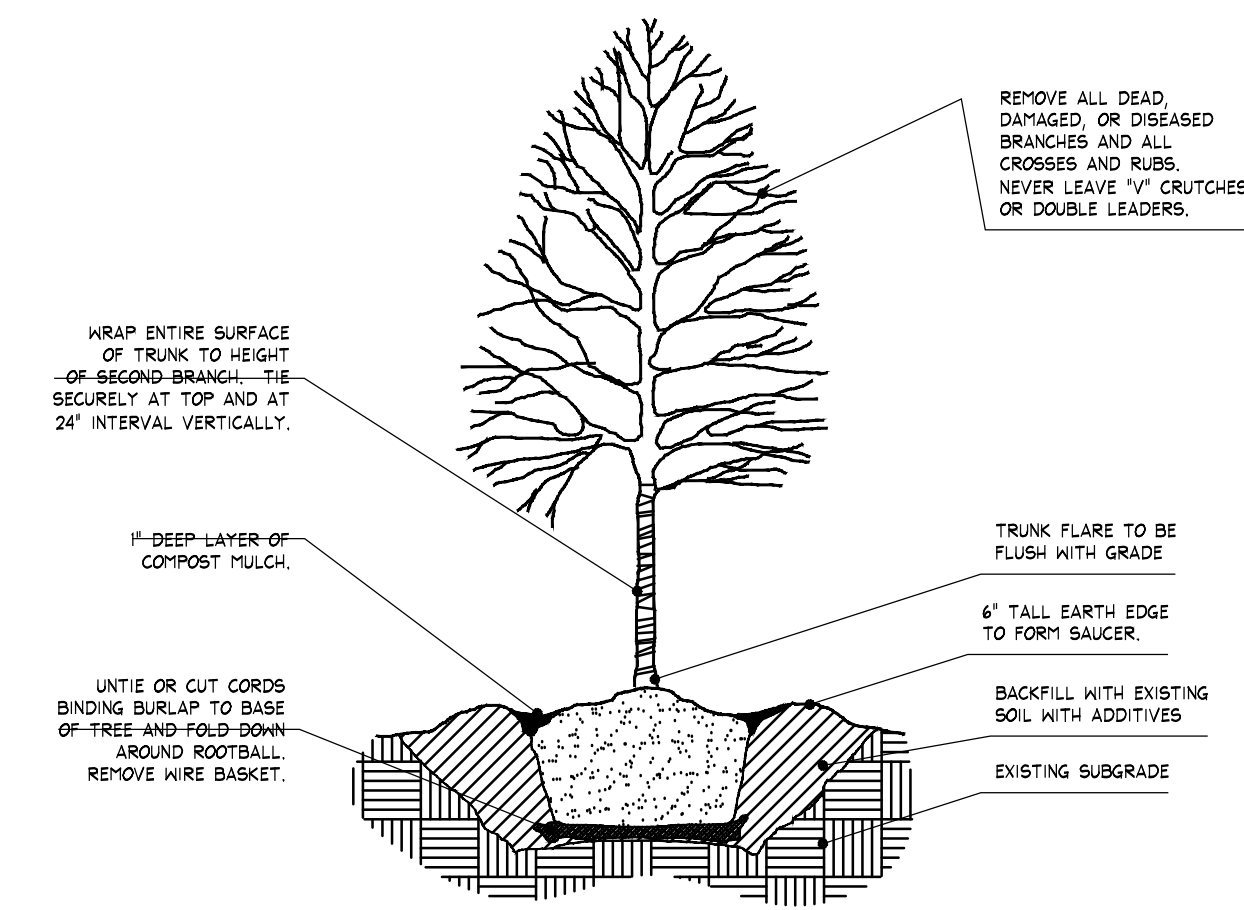
DECIDUOUS LARGE SHRUBS							
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE	QUANTITY	NOTES
	DL5	VIBURNUM CARLESII 'COMPACTUM'	COMPACT KOREANSPICE VIBURNUM	B & B	24"	11	N/A

DECIDUOUS MEDIUM SHRUBS							
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE	QUANTITY	NOTES
	DM1	SPIREA x 'DOUBLE PLAY'	DOUBLE PLAY DOOZIE SPIREA	3 GAL.	18"	14	N/A
	DM2	SPIREA BETULIFOLIA 'TOR'	TOR BIRCHLEAF SPIREA	3 GAL.	18"	12	N/A

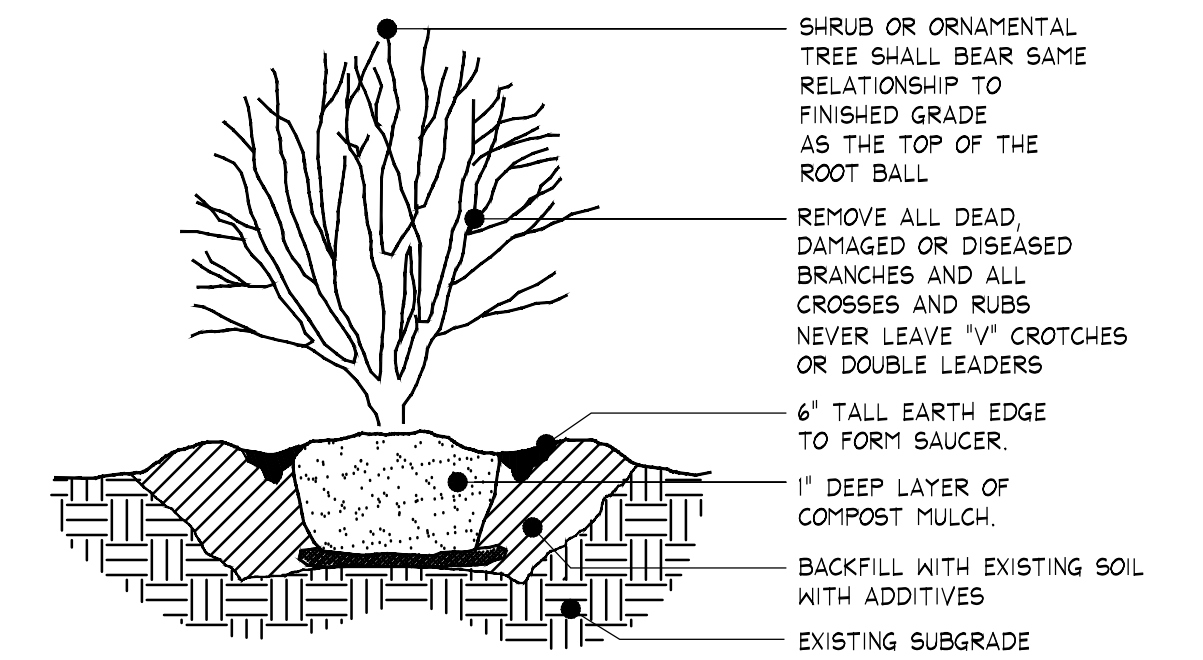
EVERGREEN SMALL SHRUBS							
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	CONTAINER	CALIPER	QUANTITY	NOTES
	EVI	BUXUS x 'GREEN VELVET'	GREEN VELVET BOXWOOD	3 GAL.		45	N/A

GROUNDCOVERS							
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	CONTAINER	CALIPER	QUANTITY	NOTES
	GC1	EUONYMUS COLORATUS	PURPLELEAF WINTERCREEPER	4.5" POTS		360 SF 525 PLANTS	10" O.C.

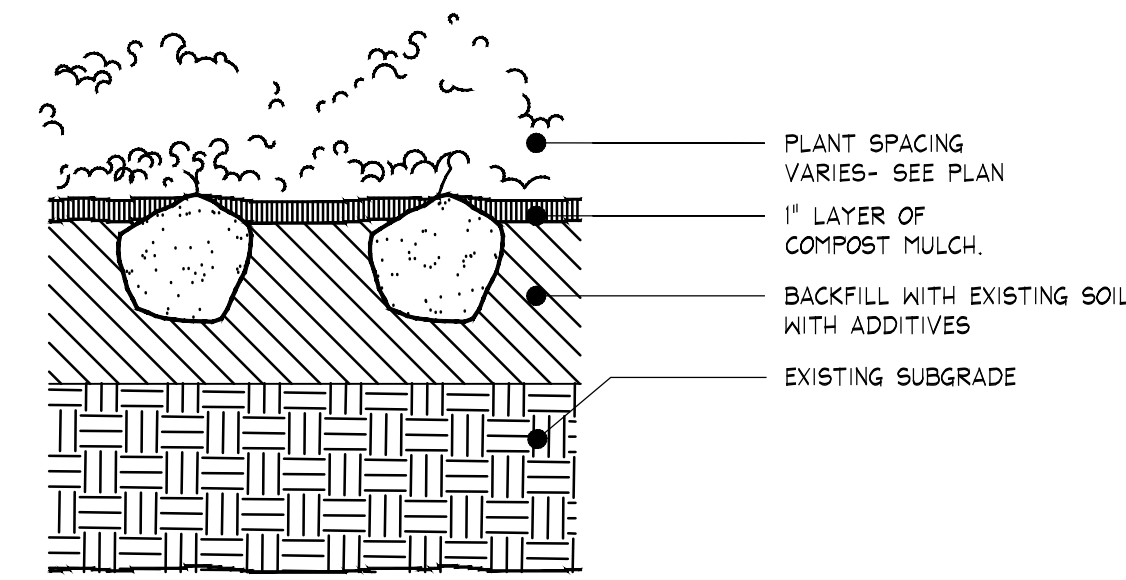
PERENNIALS							
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	CALIPER	QUANTITY	NOTES	
	OGR1	CAREX PENSYLVANICA	PENNSYLVANIA SEDGE	4.5" POTS	150 SF 66 PLANTS	18" O.C.	
	LAWN	6,300 SQ.FT.					• OPEN AREAS DESIGNATED AS LAWN TO BE SODDED



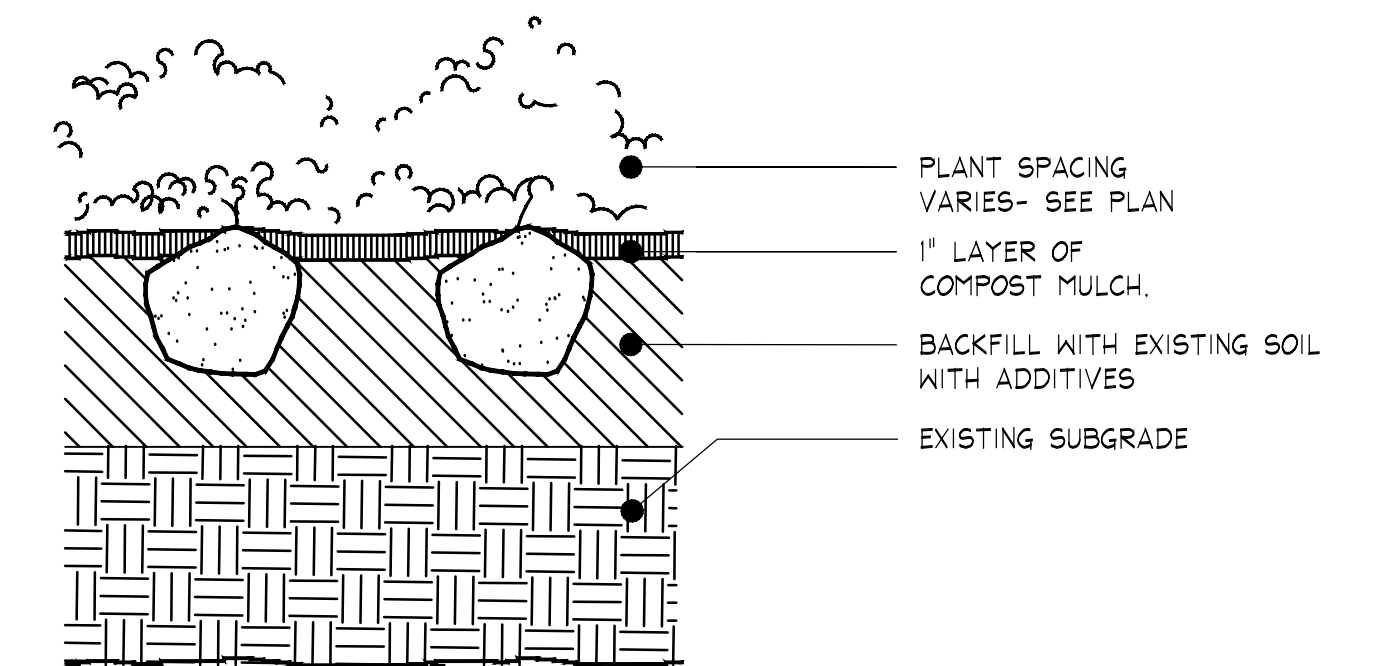
1 TREE PLANTING, TYP. ELEVATION SCALE: 1/2"=1'-0"



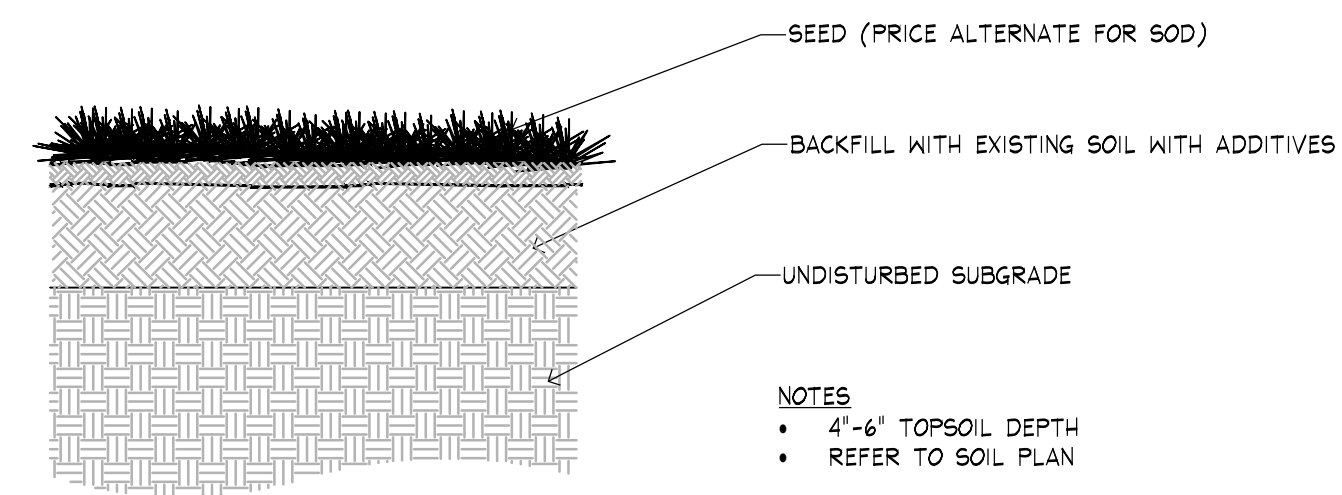
2 DECIDUOUS SHRUB PLANTING, TYP. ELEVATION SCALE: 1"=1'-0"



3 PERENNIAL/GRASSES PLANTING, TYP. ELEVATION SCALE: 1"=1'-0"



4 GROUNDCOVER PLANTING, TYP. ELEVATION SCALE: 1"=1'-0"



5 LAWN PLANTING, TYP. ELEVATION SCALE: 1"=1'-0"